

1650 Vista Drive  
12.28.2022



1650 Vista Drive

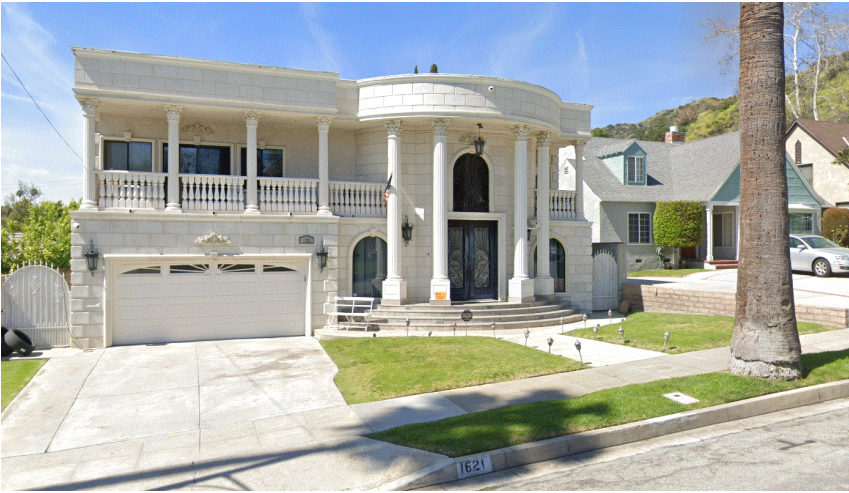
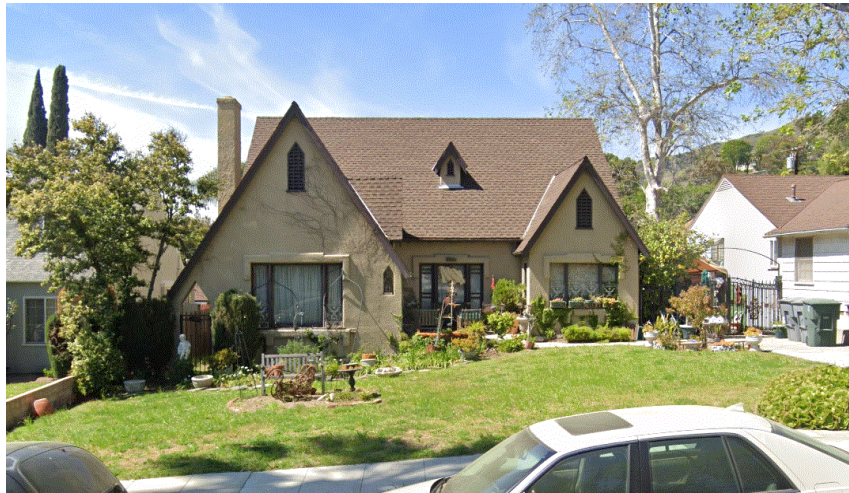


Renderings



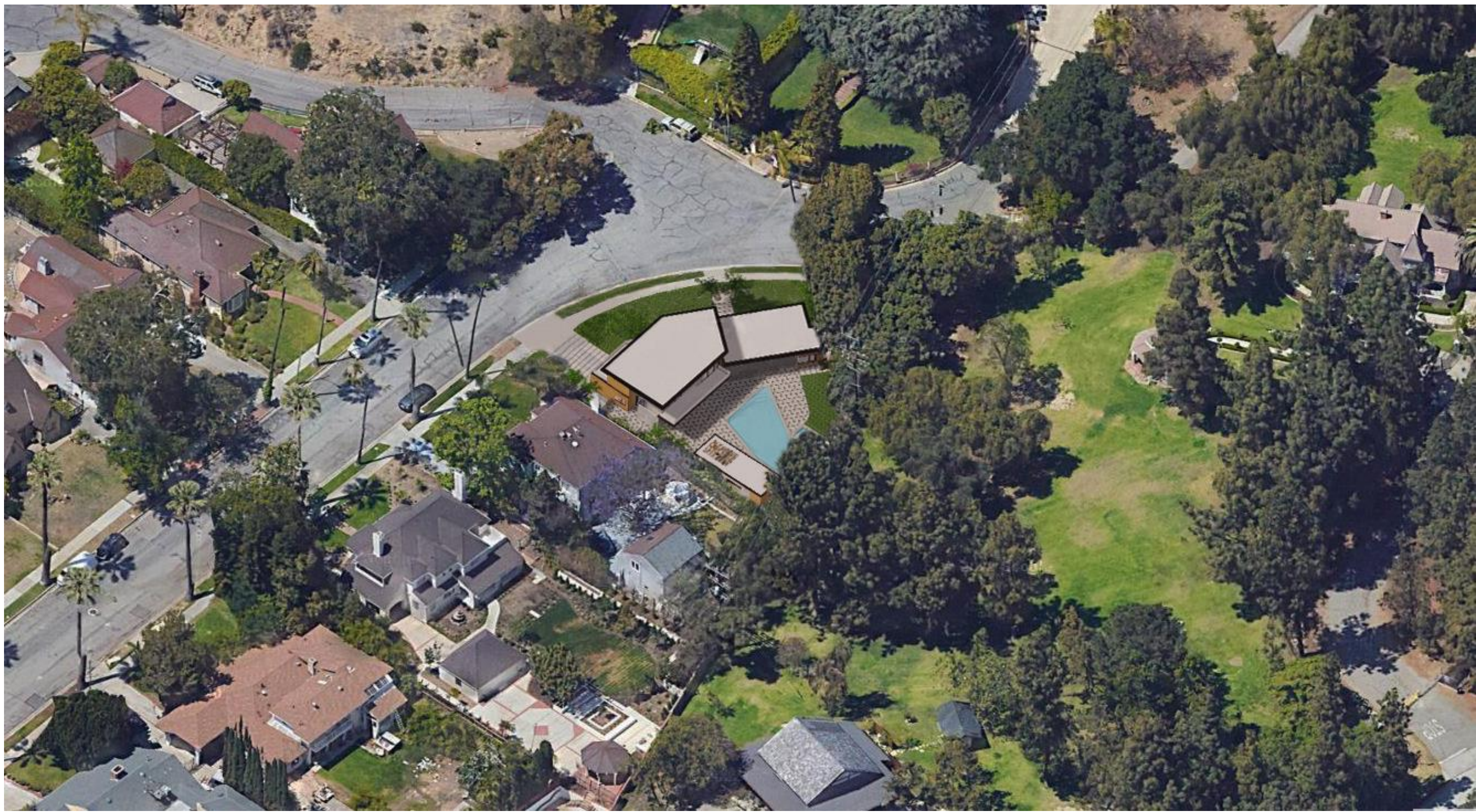


1650 Vista Drive



The Neighborhood

























STUCCO

LaHabra,  
X-50 Crystal White



WOOD SIDING

Shiplap Wood Siding,  
Natural Teak



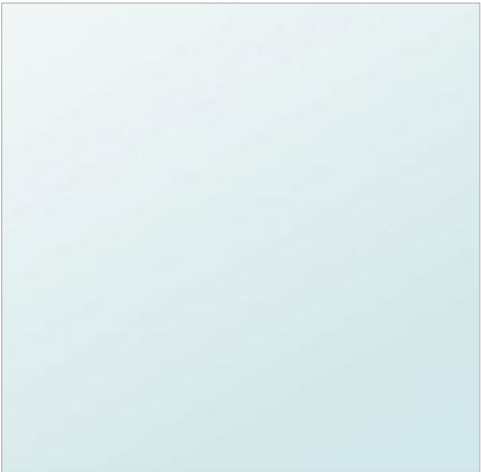
PORCELAIN TILE

Porcelanosa,  
Liem Black



METAL PANEL

Dark Bronze



GLASS

Vitro,  
Solarban 70, Low-E

# Material Board

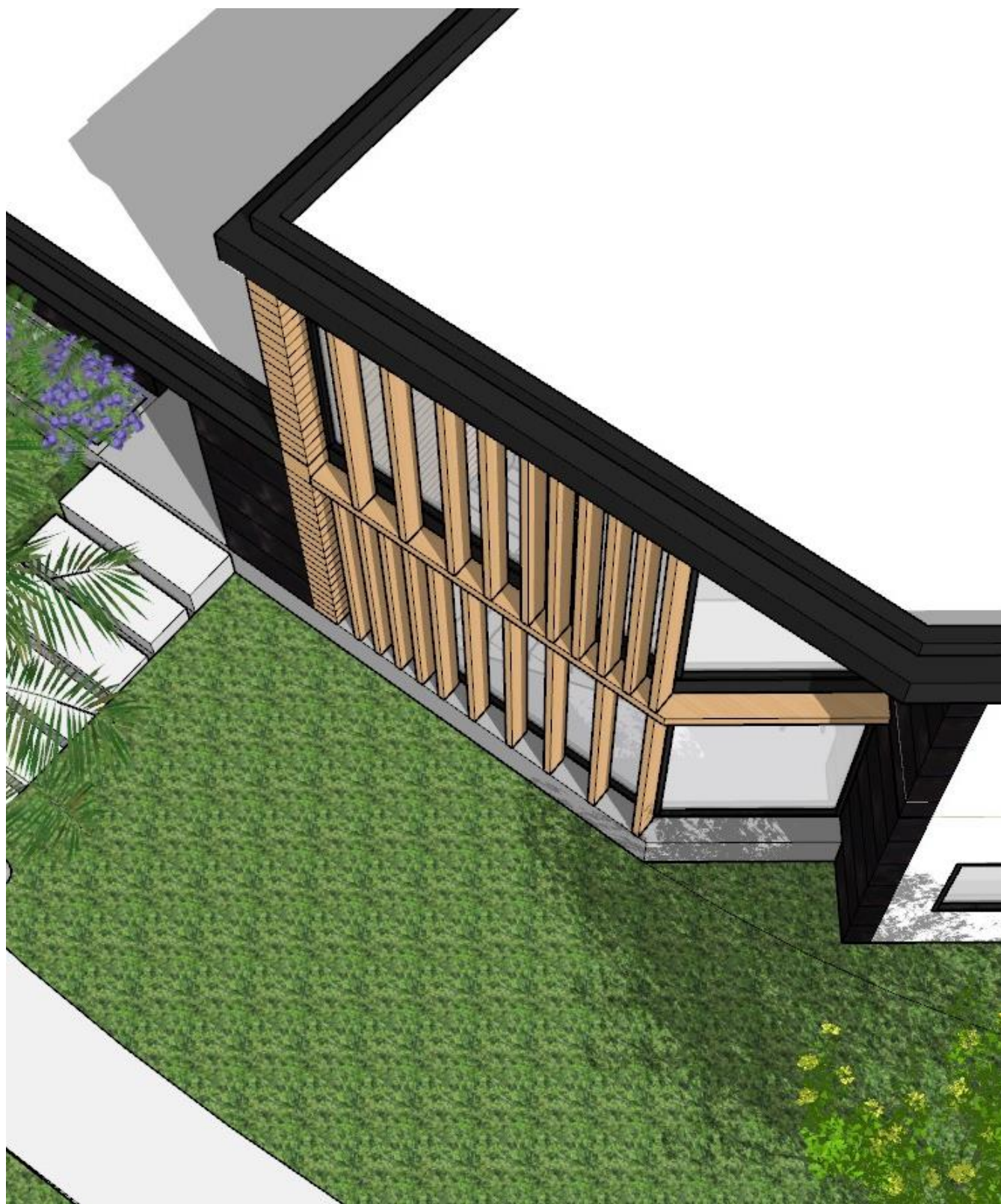




White Laminated Opaque

Garage Door





1650 Vista Drive

10.26.2022

Architectural Drawings



PARCEL 1:  
LOT 12 OF TRACT NO. 7017, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 78 PAGE 43 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, FOR STREET PURPOSES, BY DEED RECORDED IN BOOK 5173 PAGE 127 AND IN BOOK 4469 PAGE 247 OF OFFICIAL RECORDS.






















PARCEL 2:  
THAT PORTION OF BLOCK 123 OF THE RANCHO PROVIDENCIA, AND SCOTT TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 OF PAGE 17-59 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE MOST EASTERLY CORNER OF LOT 12 OF TRACT NO.7017 AS PER MAP RECORDED IN BOOK 78 PAGE 43 OF MAPS, RECORDS OF SAID COUNTY, THENCE NORTHWESTERLY ALONG THE NORTH-EASTERLY LINE OF SAID LOT 12 TO THE INTERSECTION THEREOF WITH THE SOUTHERLY LINE OF VISTA DRIVE, AS DESCRIBED IN DEED TO THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECORDED IN BOOK 4064 PAGE 247 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE EASTERLY ALONG SOUTHERLY LINE OF VISTA DRIVE TO THE INTERSECTION THEREOF WITH THE NORTH-EASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 12; THENCE SOUTHWESTERLY ALONG SAID NORTH-EASTERLY PROLONGATION TO THE POINT OF BEGINNING.



1. THE LEGAL DESCRIPTION, BOUNDARIES SHOWN HEREON ARE PER RECORD DATA.  
2.FOR PLOT THE EASEMENT IF ANY, OWNER NEED TO PROVIDE HYPER LINK OF PRELIMINARY TITLE REPORT.  
TOTAL PROPERTY AREA:11502 SQ.FT.



- AC = ASPHALT CONCRETE  
BLDG= BUILDING  
BW = BACK OF WALK  
CB = CATCH BASIN  
CL = CENTERLINE  
CF = CURB FACE  
CLF = CHAIN LINK FENCE  
CONG= CONCRETE  
DWTY = DRIVEWAY  
EG = EDGE OF GUTTER  
ELEC= ELECTRIC  
EP = EDGE OF PAVEMENT  
FF = FINISHED FLOOR  
FG = FINISHED GRADE  
FW = FRONT OF WALK  
FL = FLOW LINE  
FS = FINISHED SURFACE  
GM = GAS METER  
GV = GAS VALVE  
NG = NATURAL GROUND  
PA = PLANTER AREA  
TC = TOP OF CURB  
TW = TOP OF WALL  
WF = WALL FACE  
OH = OVER HEAD WIRE  
GA = GUY ANCHOR  
FP = FIRE PLACE  
PD = PARKWAY DRAIN  
RRT =RAILROAD TIE  
TTP = TOP OF PARAPET

- |  |                             |
|--|-----------------------------|
|   | TREE-<br>SIZE IN INCHES     |
|   | PALM TREE<br>SIZE IN INCHES |
|   | SEWER MAINT HOLE            |
|   | SIGN                        |
|   | ELECTRIC METER              |
|   | CATCH BASIN                 |
|   | GAS VALVE                   |
|   | GUY WIRE                    |
|   | POWER POLE                  |
|   | WATER METER                 |
|   | GAS METER                   |
|   | SPOT ELEVATION              |
|   | OVER HEAD WIRE              |
|   | WOOD FENCE                  |
|   | CHAIN LINK FENCE            |
|   | WROUGHT IRON FENCE          |
|   | RETAINER BRICK WALL         |
|   | BOUNDARY LINE               |
|   | CONCRETE PAVEMENT           |
|   | ASPHALT PAVEMENT            |
|  | BRICK PAVEMENT              |

CONSULTANTS:

BENCH MARK NO. : BM1860  
ROUND HEAD NAIL IN LEAD IN S'LY  
CURB MOUNTAIN ST 7.4 FT W'LY OF  
BCR S-W'LY CORNER CHSLD 'BM'  
DATUM: NGVD29  
YEAR OF ADJUSTMENT: 2004  
ELEVATION : 783.58 FT



SCALE: 1/8"=1'-0"  
DATE: 11.18.2021  
FILE:  
SCRIPT:

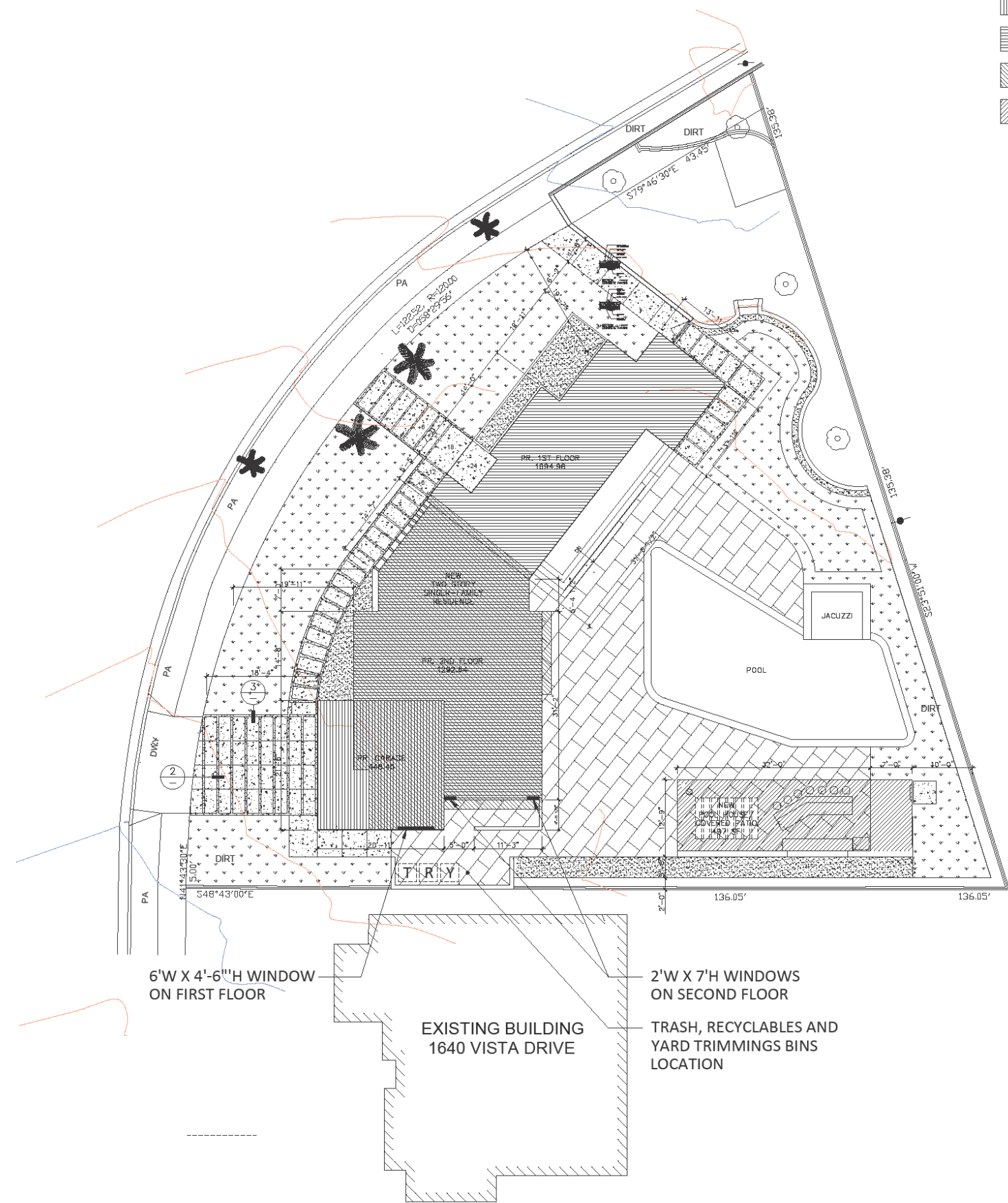
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SCALE: 1" = 10'



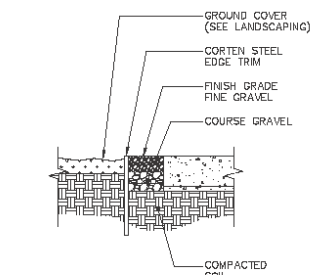
LEGAL DESCRIPTION	
PARCEL 1: LOT 12 OF TRACT NO. 7017, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 78 PAGE 43 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA ,FOR STREET PURPOSES, BY DEED RECORDED IN BOOK 5173 PAGE 127 AND IN BOOK 4469 PAGE 247 OF OFFICIAL RECORDS.	
PARCEL 2: THAT PORTION OF BLOCK 123 OF THE RANCHO PROVIDENCIA, AND SCOTT TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGE 47-59 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST EASTERLY CORNER OF LOT 12 OF TRACT NO.7017 AS PER MAP RECORDED IN BOOK 78 PAGE 43 OF MAPS ,RECORDS OF SAID COUNTY ,THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 12 TO THE INTERSECTION THEREOF WITH THE SOUTHERLY LINE OF VISTA DRIVE, AS DESCRIBED IN DEED TO THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA,RECORDED IN BOOK 4469 PAGE 247 OF OFFICIAL RECORDS OF SAID COUNTY;THENCE EASTERLY ALONG SOUTHERLY LINE OF VISTA DRIVE TO THE INTERSECTION THEREOF WITH THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 12,THENCE SOUTHWESTERLY ALONG SAID NORTHEASTERLY PROLONGATION TO THE POINT OF BEGINNING.	
APN NO.5630-001-016	
SCOPE OF WORK	
PROPOSED TWO STORY HOUSE WITH ATTACHED TWO CAR GARAGE	
BUILDING TYPE	
TYPE: NUMBER OF STORIES MAXIMUM HEIGHT SPRINKLER: FORE ZONE:	V-B 2 24'-0" YES YES
BUILDING USE	
SINGLE FAMILY RESIDENTIAL	R3
FAR CALCULATION	
PROPERTY EX HOUSE TO BE DEMO EX GARAGE TO BE DEMO PR 1ST FLOOR PR 2ND FLOOR PR GARAGE PR COVERED PATIO (SOUTH SIDE) PR BALCONY (NORTH SIDE) PR BALCONY(SOUTH SIDE) PR ENTRY PORCH POOL HOUSE	11,502 SF 2,226 SF 400 SF 1,694.96 SF 1,292.64 SF 448.82 SF 182.66 SF 153.69 SF 260.38 SF 38 SF 497 SF
MAXIMUM ALLOWED FAR (10000 X 0.3) + (1502 X 0.1) = 3150.2 SF	
FAR 1694.96 + 1292.64 = 2,987.6 SF 2,987.6 < 3150.2	
LOT COVERAGE	
1817.33 + 448.82 + 182.66 + 38 + 497 = 2,983.81 2,983.81 / 11502 = 25.9% < 40%	
LANDSCAPING	
TOTAL LOT AREA: 11,502 SF LANDSCAPE AREA: 4,695 SF 1,175 SF (EXIST) + 3,520 SF (NEW) LANDSCAPE RATIO: 40% 4,695 SF (TOTAL LANDSCAPE) / 11,502 SF (LOT)	
APPLICABLE CODES	
2019 CRC 2019 CMC 2019 CEC 2019 CPC 2020 CGBC	

- NOTES:
1. NEW ROOFTOP EQUIPMENT IS PROHIBITED IN THIS ZONE.
  2. RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES AND PATIO REQUIRE SEPARATE PERMITS.
  3. THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THIS LOT OR WITHIN 20' OF THE PROPERTY.

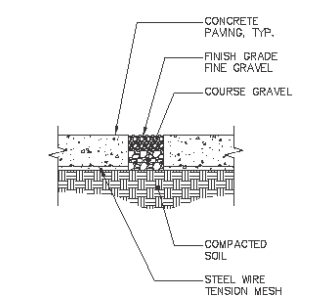


1 SITE PLAN

LEGEND		
	PR GARAGE	448.82 SF
	PR FIRST FLOOR	1,694.96 SF
	PR SECOND FLOOR	1,292.64 SF
	PR POOL HOUSE	497 SF



2 SECTION 1 1/2"=1'-0"



3 SECTION 1 1/2"=1'-0"

ALEK ZARIFIAN ARCHITECT

3120 Peters Circle  
Glendale, California 91208  
T 818.601.9056

CONSULTANTS:

1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN

SITE PLAN

SCALE: 1/8"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

A1.11

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SHRUBS/SUCCULENTS



AEONIUM SPP. (RELOCATED)



AGAPANTHUS 'STORM CLOUD' / LILY OF THE NILE



ASPARAGUS DENSIFLORUS 'MYERSII' / MYERS ASPARAGUS



CAMPANULA POSCHARSKYANA / SERBIAN BELLFLOWER



CISTUS X HYBRIDUS / WHITE ROCKROSE



CISTUS X SKANBERGII / PINK ROCKROSE



CRASSULA SPP. 'GOLLUM' / GOLLUM JADE PLANT (RELOCATED)



EUPHORBIA TIRUCALLI 'STICKS ON FIRE' / STICKS ON FIRE (RELOCATED)

GROUNDCOVERS



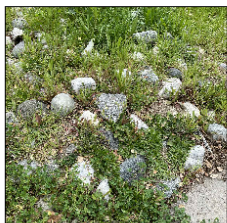
CAREX DIVULSA / BERKELEY SEDGE



DYMONDIA MARGARETAE / DYMONDIA



GRAVEL - LA PAZ PEBBLES, 1/2"-1"



SMALL BOULDERS, COBBLE ROCK RELOCATED

TREES



CITRUS SPP. KUMQUAT / KUMQUAT TREE (RELOCATED)



DRACAENA MARGINATA / MADAGASCAR DRAGON TREE



SYAGRUS ROMANZOFFIANA / QUEEN PALM

PLANTING LEGEND

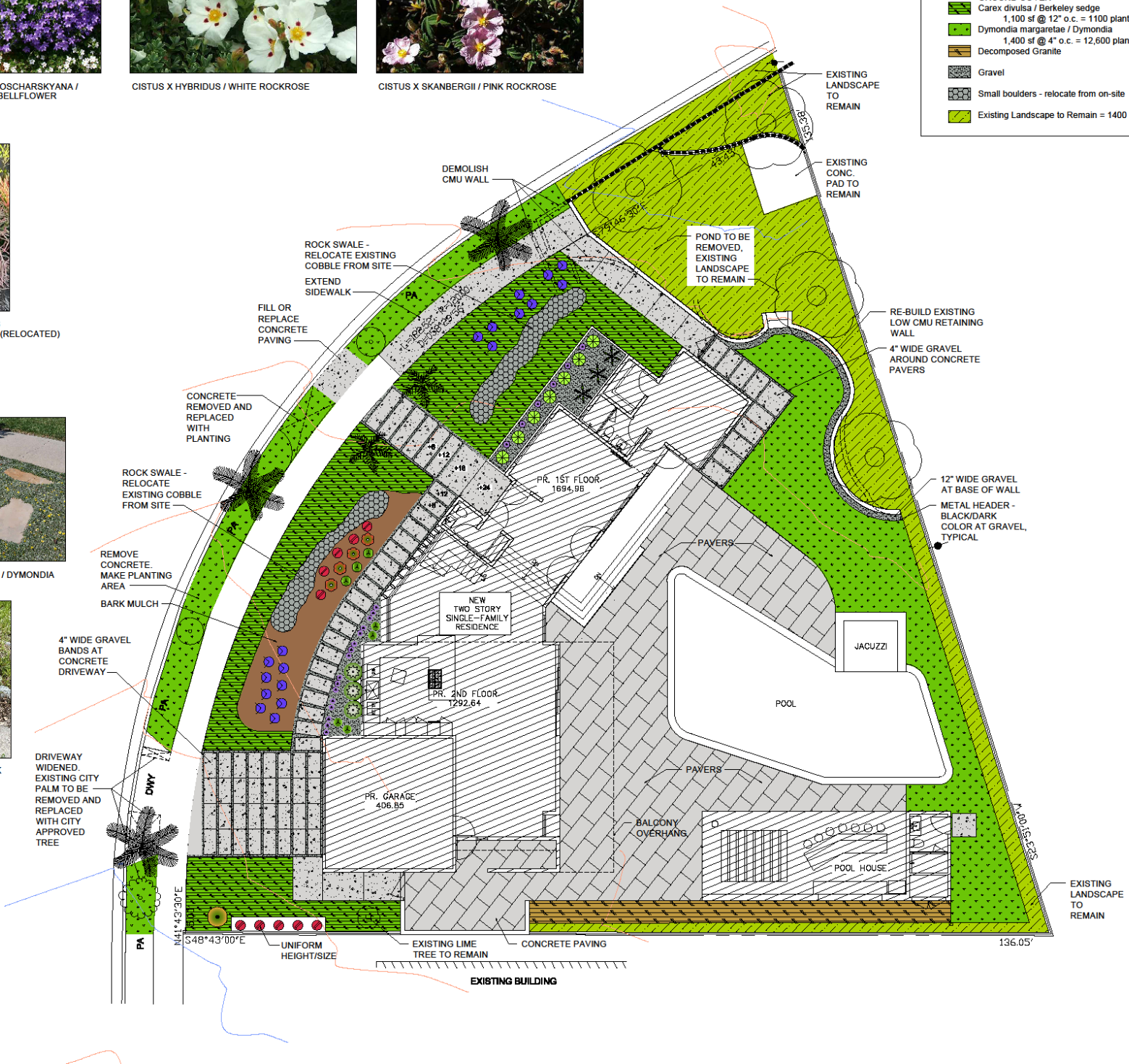
Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks
TREES					
	Citrus spp. Kumquat / Kumquat tree	1	n/a	M	relocated
	Dracaena marginata / Madagascar Dragon tree	3	15 gal	-	
	Syagrus romanzoffiana / Queen palm	2	TBD	M	
	10' min. clear trunk Street Tree per City of Glendale Gingko biloba / Gingko	1	24" Box	M	
SHRUBS					
	Aeonium spp., @ per plan	8*	n/a	L	relocated, *TBD per availability
	Agapanthus 'Storm Cloud' / Lily of the Nile @ per plan	18	1g	M	alt. Midnight Blue
	Asparagus densiflorus 'Myersii' / Myers asparagus @ 48" o.c.	7	5g	M	
	Campanula poscharskyana / Serbian bellflower, @ per plan	22	1g	M	
	Crassula spp. 'Gollum' / Gollum jade plant @ per plan	4	n/a	L	relocated
	Cistus x hybridus / White Rockrose @ 36" o.c.	4	5g	L	alt. Cistus x skanbergii / Pink Rockrose
	Euphorbia tirucalli 'Sticks on Fire' / Sticks on Fire, @ per plan	10	n/a	L	relocated. 24" high
GROUND COVER					
	Carex divulsa / Berkeley sedge	23	flat	L	
	Dymondia margaretae / Dymondia	260	flat	L	
	Decomposed Granite	230 sf			
	Gravel	310 sf	TBD		
	Small boulders - relocate from on-site	180 sf			
	Existing Landscape to Remain = 1400 sf				

ALEK ZARIFIAN ARCHITECT

3120 Peters Circle  
Glendale, California 91208  
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CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN



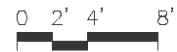
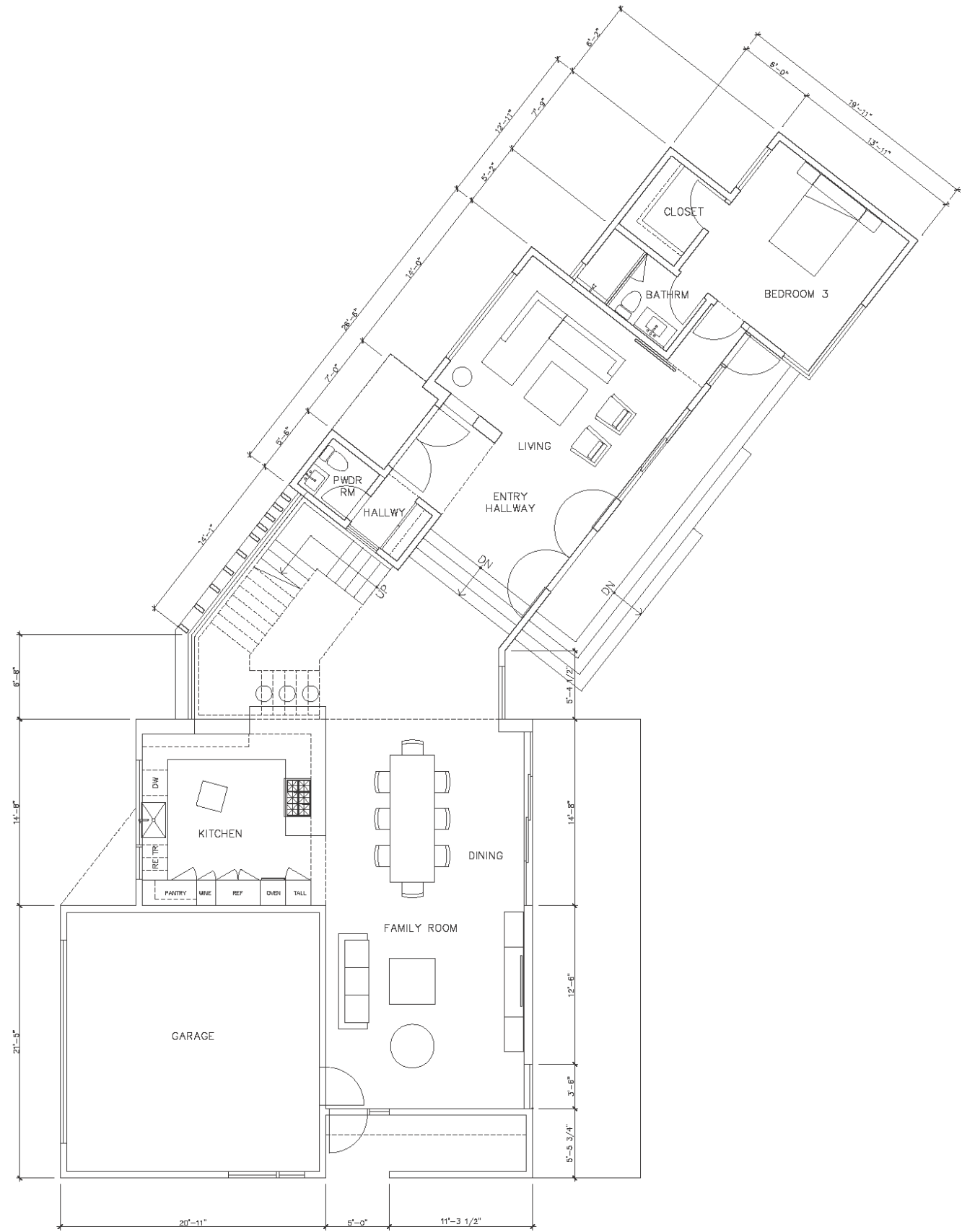
LANDSCAPE PLAN

SCALE: 1/8"=1'-0"  
DATE: 07.13.2022  
FILE:  
SCRIPT:

L1.11

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CONSULTANTS:

1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN



GROUND FLOOR PLAN

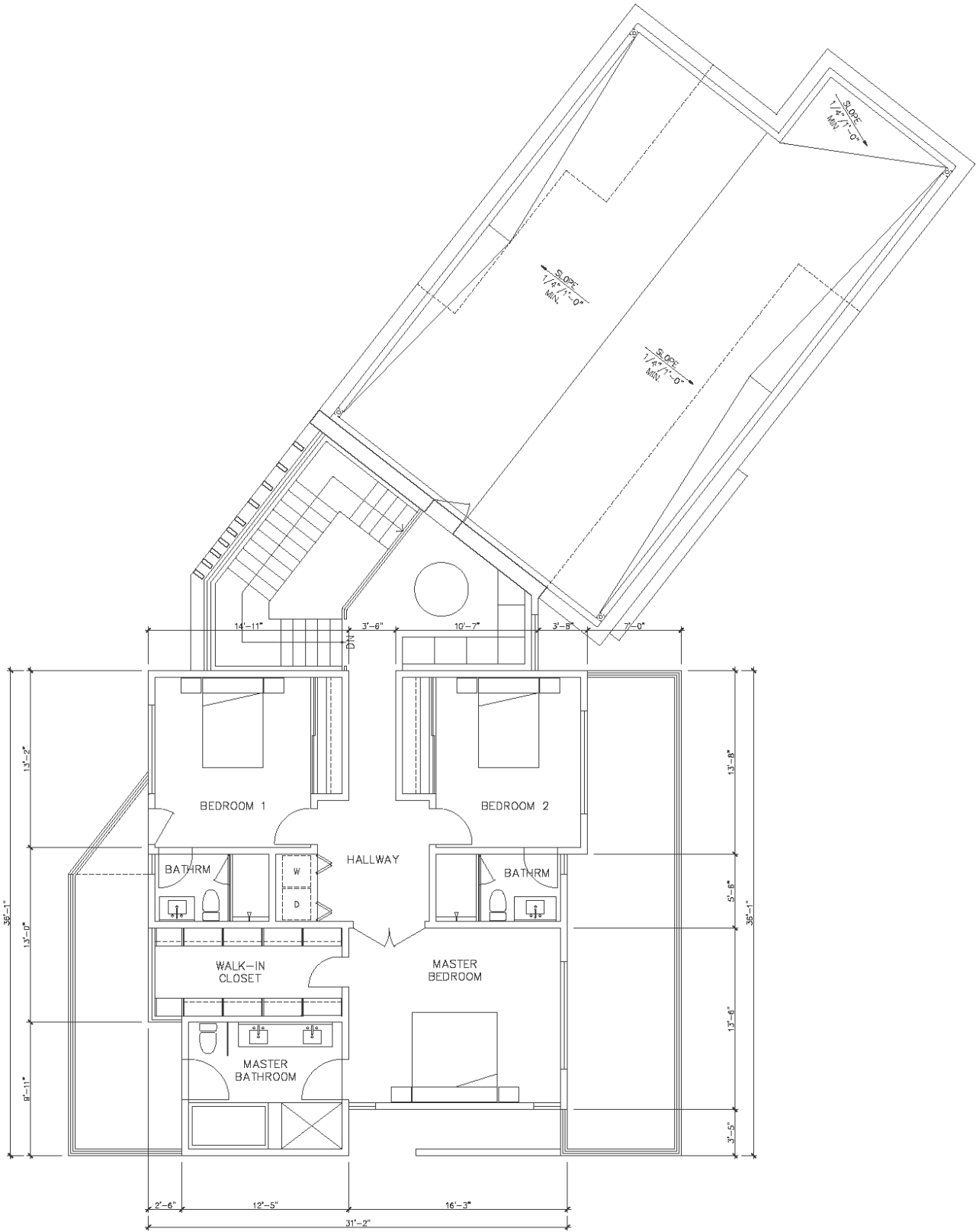
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DATE: 04.25.2022  
FILE:  
SCRIPT:

A2.11





CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

A2.12

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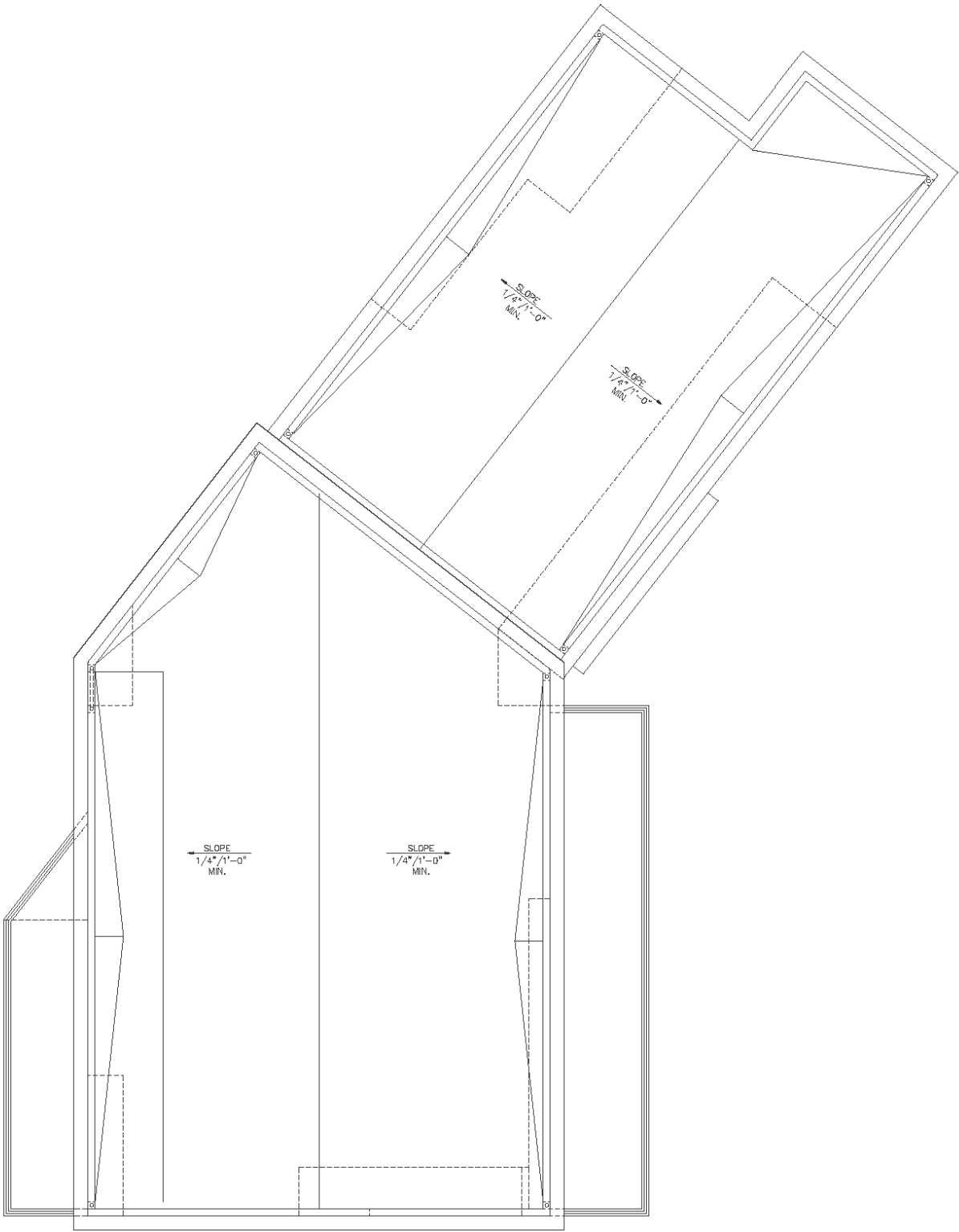




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Glendale, California 91208  
T 818.601.9056



CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN



ROOF PLAN

SCALE: 1/4"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

A2.13

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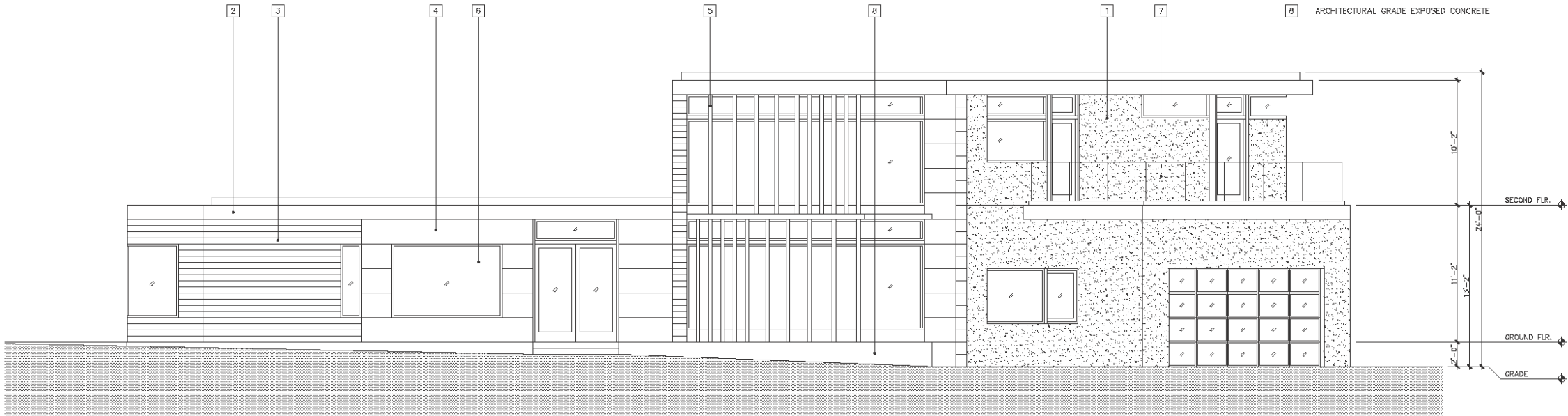






CONSULTANTS:

- EXTERIOR FINISH LEGEND
- 1 7/8" STUCCO-SMOOTH FINISH-COLOR: CRYSTAL WHITE
  - 2 16 GAGE BENT METAL PANEL-COLOR: DARK BRONZE
  - 3 6" WIDE WOOD SIDING
  - 4 24" WIDE CERAMIC TILE
  - 5 WOOD CLADDED FIN
  - 6 1" LOW-E INSULATING GLASS IN WOOD FRAME
  - 7 3/4" GLASS RAILING
  - 8 ARCHITECTURAL GRADE EXPOSED CONCRETE



1 EXTERIOR ELEVATION – NORTH



1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN

EXTERIOR  
ELEVATIONS

SCALE: 1/4"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

A3.11

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2 EXTERIOR ELEVATION – EAST





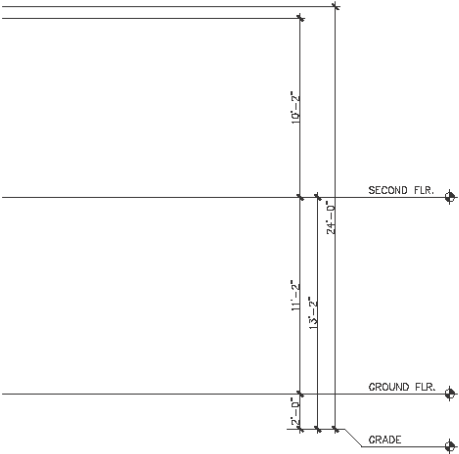
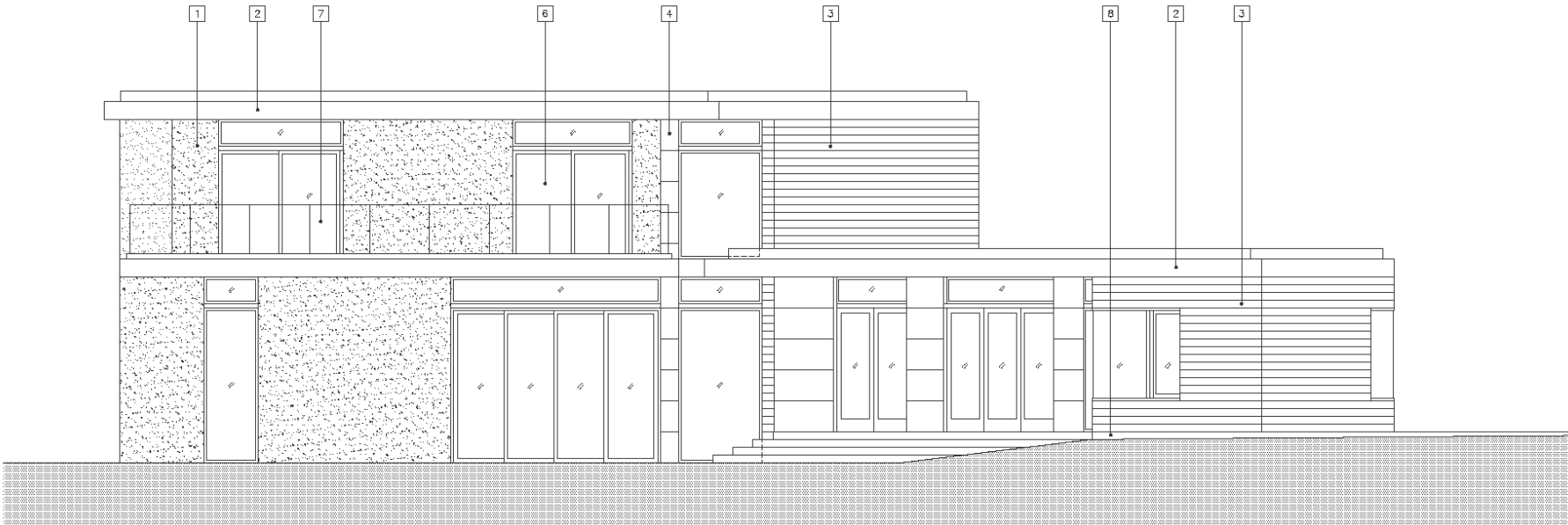
3120 Peters Circle  
Glendale, California 91208  
T 818.601.9056



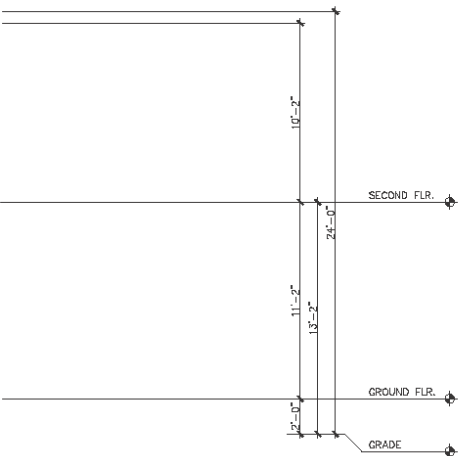
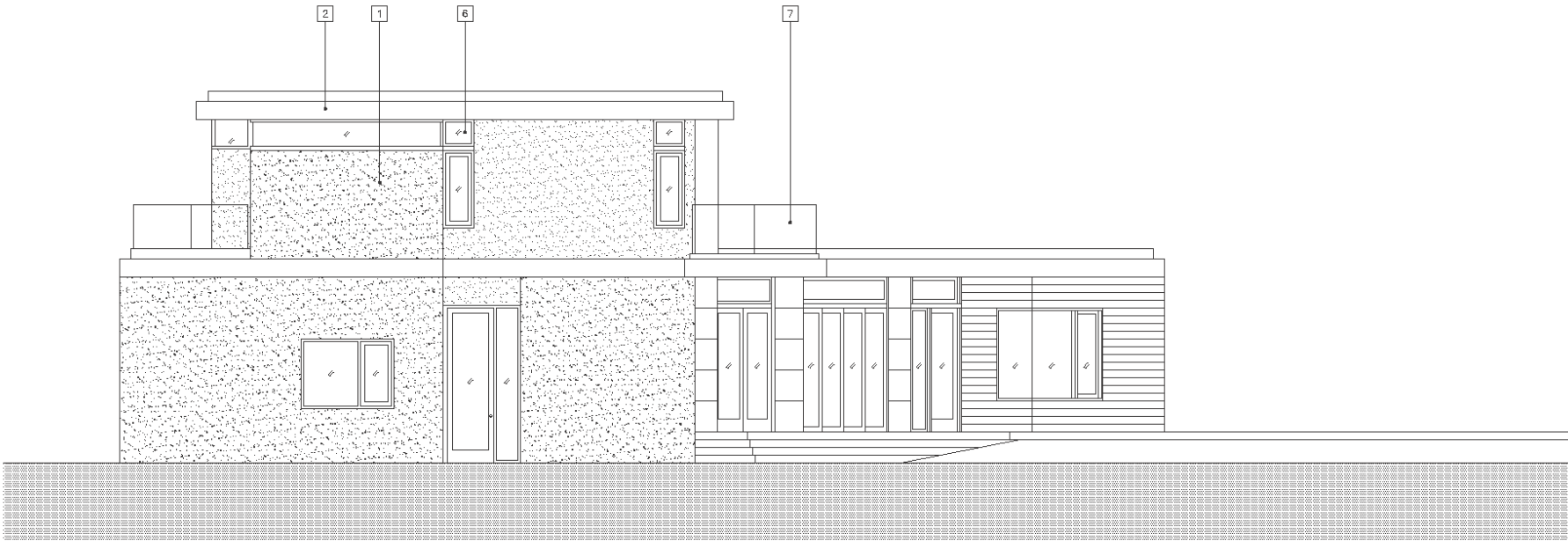
CONSULTANTS:

EXTERIOR FINISH LEGEND

- 1 7/8" STUCCO-SMOOTH FINISH-COLOR: CRYSTAL WHITE
- 2 METAL PANEL-COLOR: DARK BRONZE
- 3 6" WIDE WOOD SIDING-SPECIES: TEAK
- 4 24" WIDE CERAMIC TILE-TYPE: BLACK MARBLE
- 5 WOOD CLADDED FIN
- 6 1" LOW-E INSULATING GLASS IN WOOD FRAME
- 7 3/4" GLASS RAILING
- 8 ARCHITECTURAL GRADE EXPOSED CONCRETE



1 EXTERIOR ELEVATION – SOUTH



1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN

EXTERIOR  
ELEVATIONS

SCALE: 1/4"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

A3.12

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2 EXTERIOR ELEVATION – WEST







NORTH ELEVATION





EAST ELEVATION





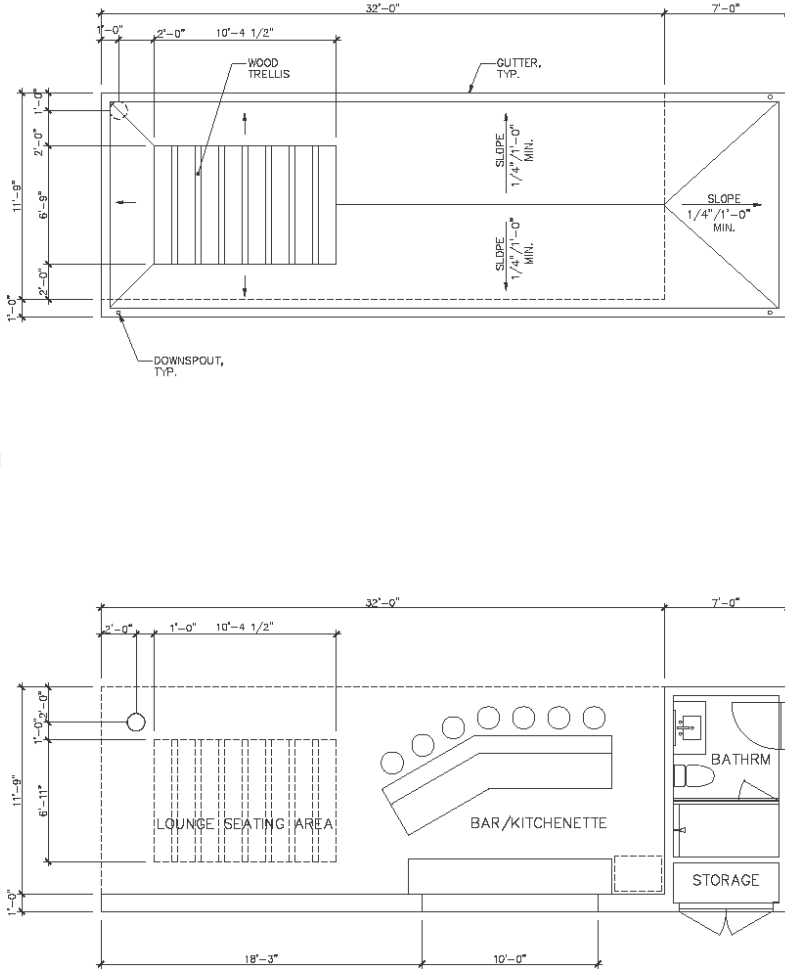
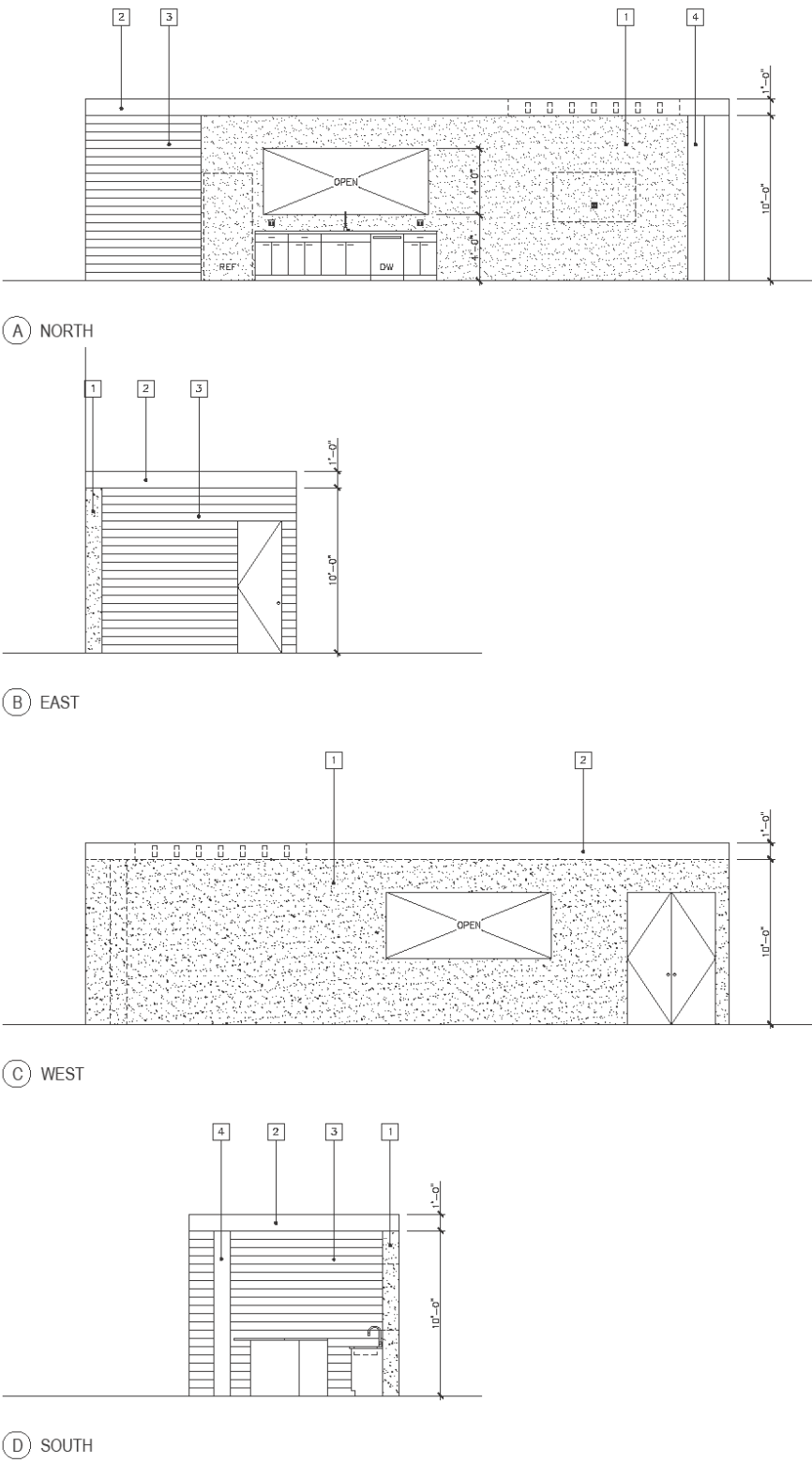
SOUTH ELEVATION





WEST ELEVATION





EXTERIOR FINISH LEGEND

1	7/8" STUCCO-SMOOTH FINISH-COLOR: CRYSTAL WHITE
2	16 GAGE BENT METAL PANEL-COLOR: DARK BRONZE
3	6" WIDE WOOD SIDING
4	GLASS FIBER REINFORCED CONCRETE COLUMN COVER

ALEK ZARIFIAN ARCHITECT

3120 Peters Circle  
Glendale, California 91208  
T 818.601.9056

CONSULTANTS:

1650 VISTA DRIVE  
POOL HOUSE  
1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN

PLANS AND ELEVATIONS

SCALE: 1/4"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

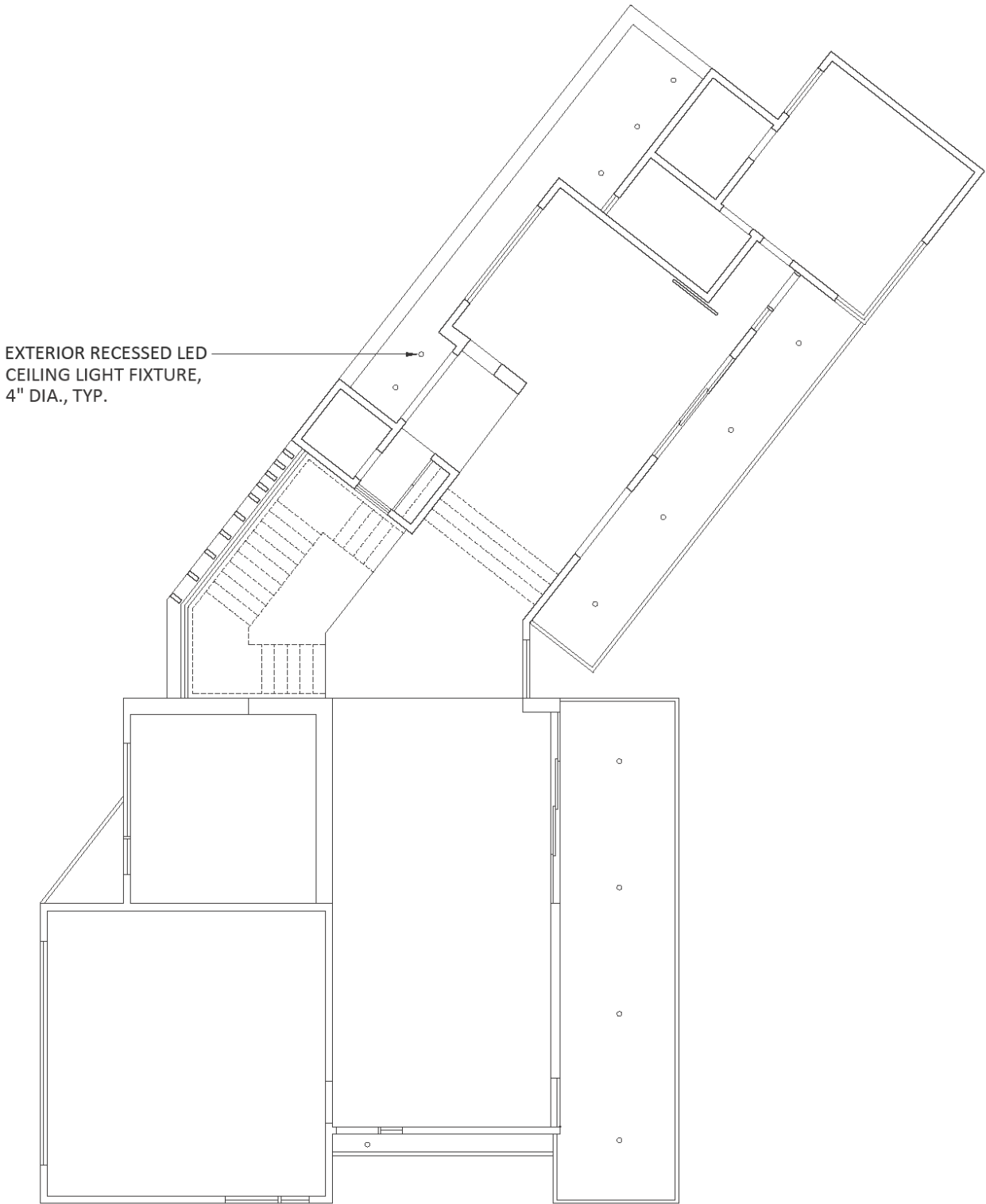
A2.14

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CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN



GROUND FLOOR  
EXTERIOR LIGHTING  
PLAN

SCALE: 1/4"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

A2.11

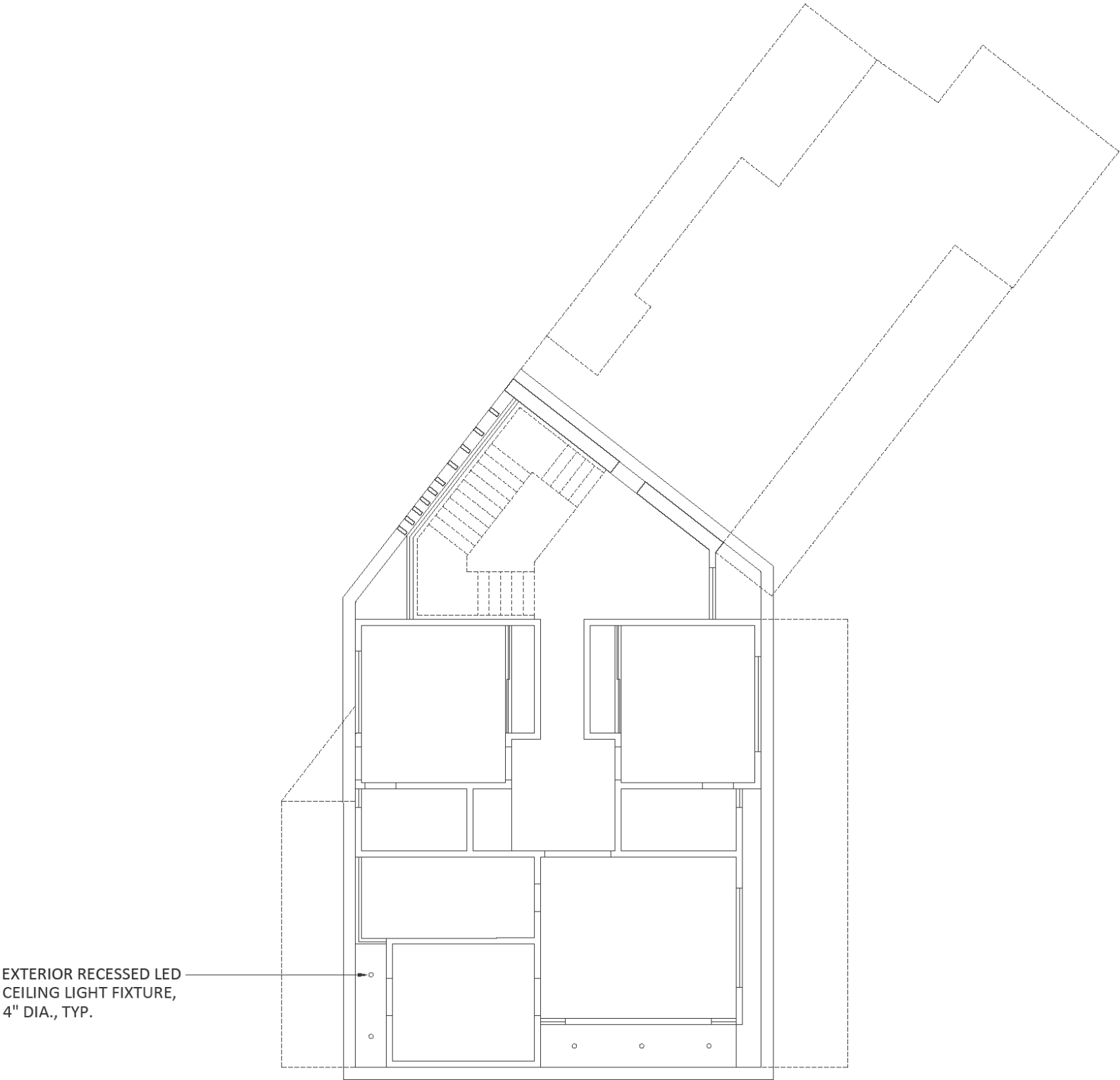
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CONSULTANTS:



EXTERIOR RECESSED LED  
CEILING LIGHT FIXTURE,  
4" DIA., TYP.

1650 VISTA DRIVE

1650 VISTA DRIVE  
GLENDALE, CA 91201

KEY PLAN



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"  
DATE: 04.25.2022  
FILE:  
SCRIPT:

A2.12

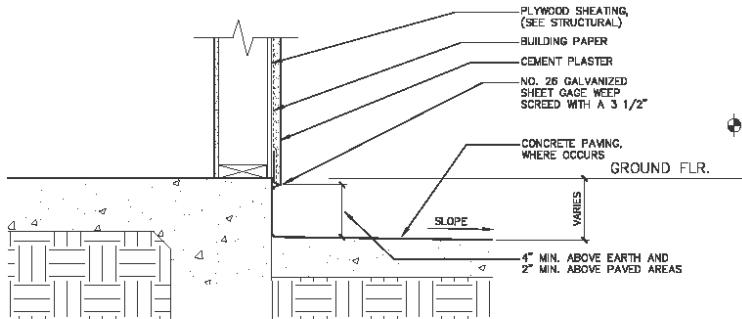
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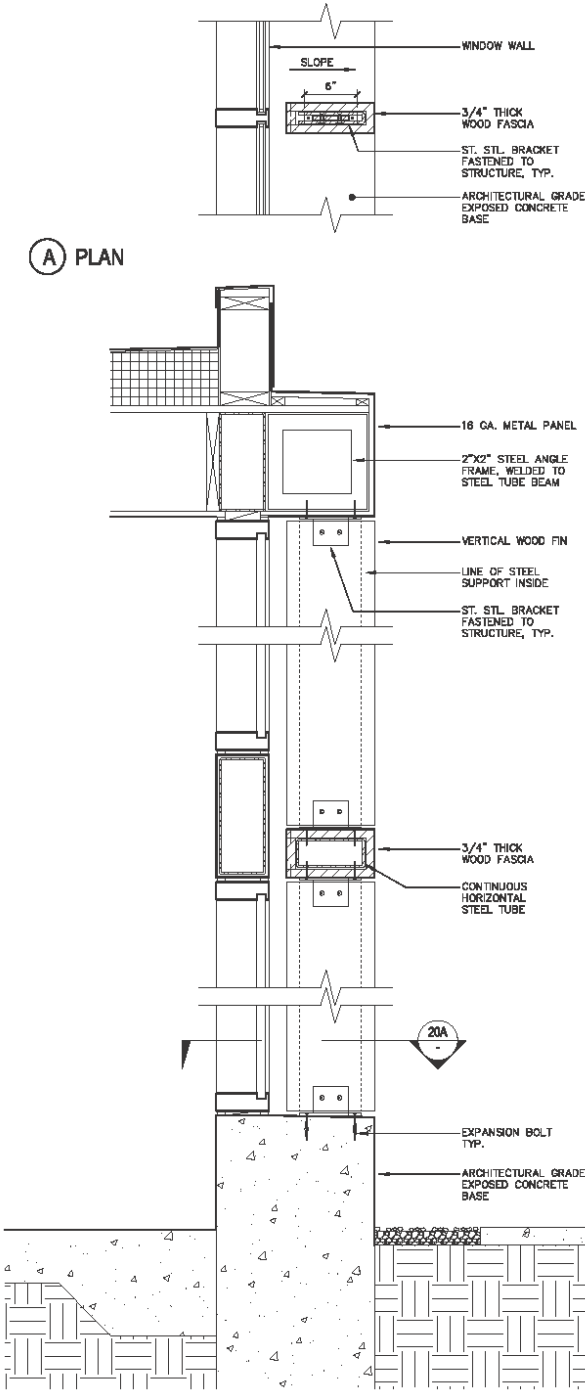




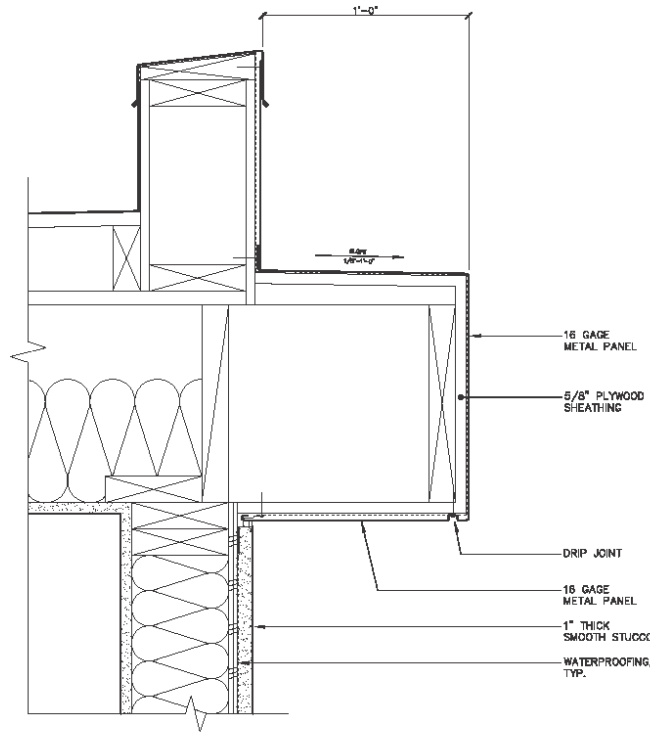
CONSULTANTS:



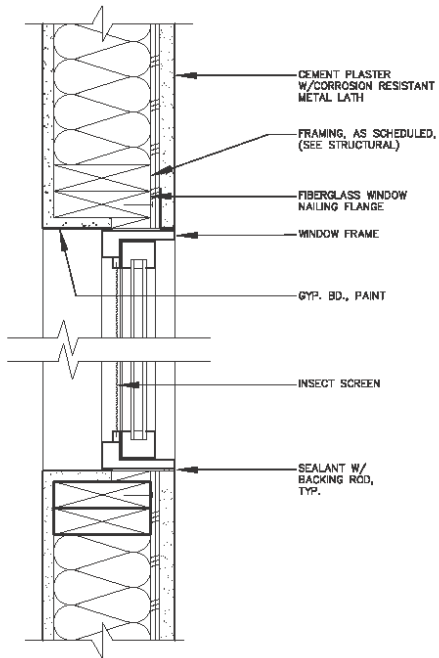
5 SECTION - WALL BASE  
1 1/2"=1'-0"



20 WINDOW WALL WITH WOOD BRI SOLEIL  
1 1/2"=1'-0"



28 SECTION - ROOF EDGE  
3"=1'-0"



30 SECTION - WINDOW HEAD AND SILL  
3"=1'-0"

1650 VISTA DRIVE  
1650 VISTA DRIVE  
GLENDALE, CA 91201  
KEY PLAN

EXTERIOR DETAILS

SCALE: 1/4"=1'-0"  
DATE: 02.02.2022  
FILE:  
SCRIPT:

A5.01