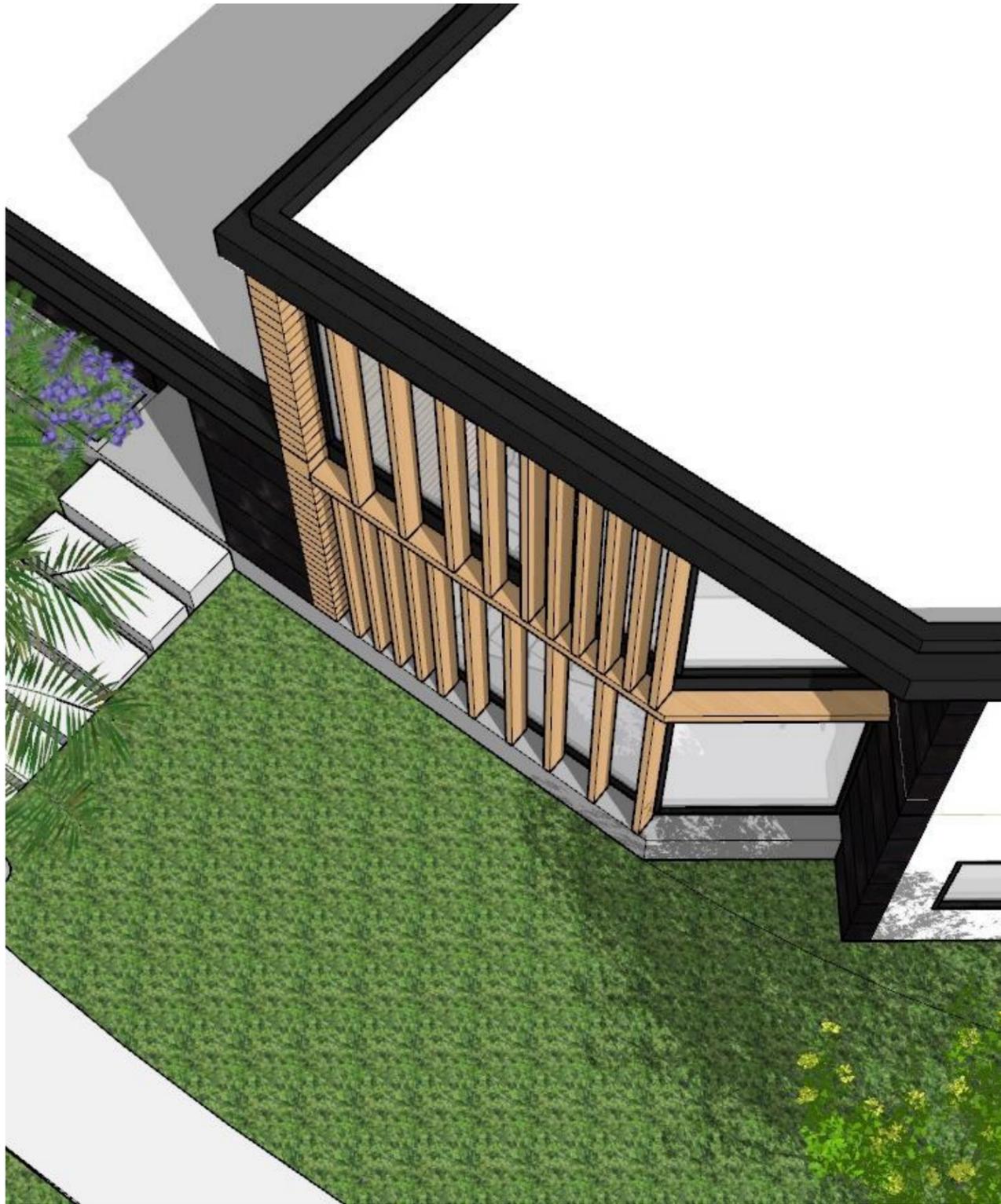


1650 Vista Drive

12.28.2022



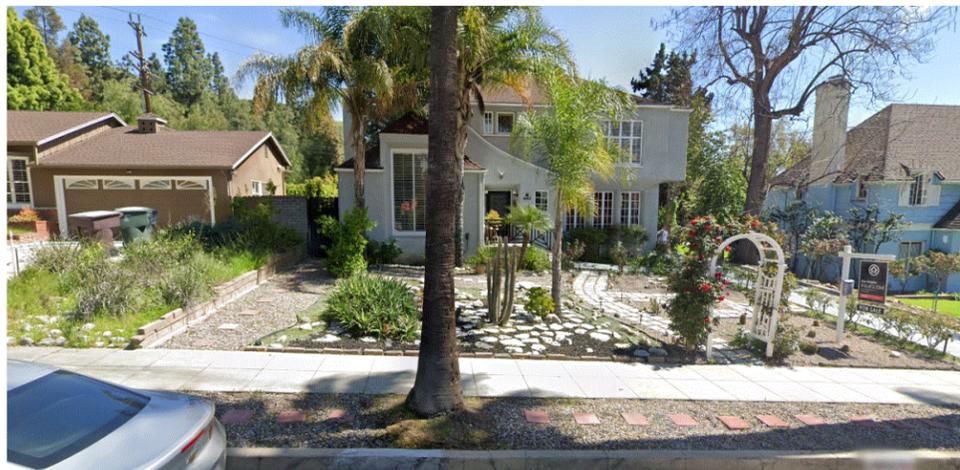
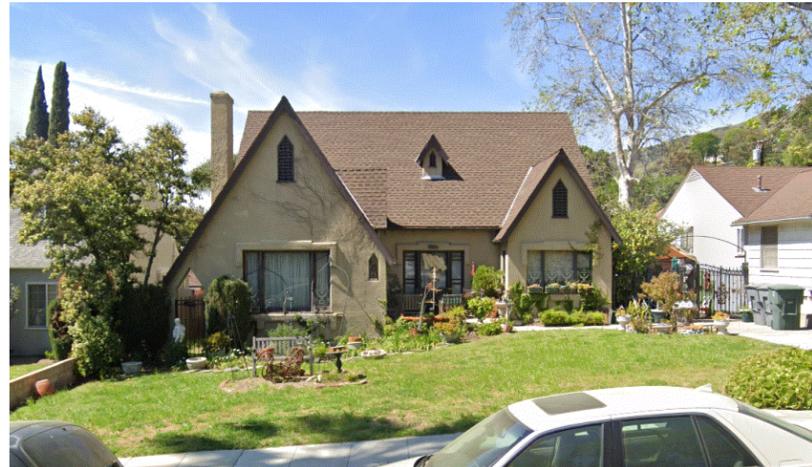
1650 Vista Drive



Renderings



1650 Vista Drive



The Neighborhood

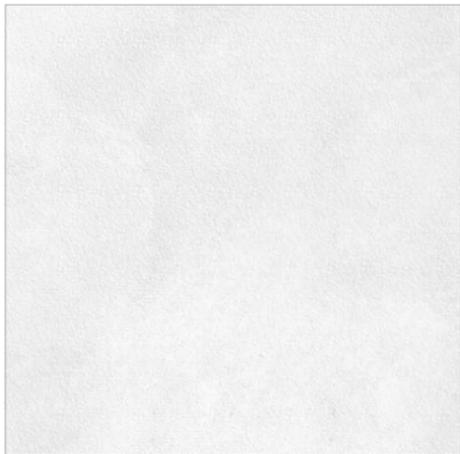












STUCCO

LaHabra,
X-50 Crystal White



WOOD SIDING

Shiplap Wood Siding,
Natural Teak



PORCELAIN TILE

Porcelanosa,
Liem Black



METAL PANEL

Dark Bronze



GLASS

Vitro,
Solarban 70, Low-E

Material Board



White Laminated Opaque

Garage Door

1650 Vista Drive

10.26.2022



Architectural Drawings



CONSULTANTS:

LEGAL DESCRIPTION:

PARCEL 1:
LOT 12 OF TRACT NO. 7017, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 78 PAGE 43 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, FOR STREET PURPOSES, BY DEED RECORDED IN BOOK 5173 PAGE 127 AND IN BOOK 4469 PAGE 247 OF OFFICIAL RECORDS.

PARCEL 2:
THAT PORTION OF BLOCK 123 OF THE RANCHO PROVIDENCIA, AND SCOTT TRACT, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 43 PAGE 47-59 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST EASTERLY CORNER OF LOT 12 OF TRACT NO. 7017 AS PER MAP RECORDED IN BOOK 78 PAGE 43 OF MAPS, RECORDS OF SAID COUNTY, THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 12 TO THE INTERSECTION THEREOF WITH THE SOUTHERLY LINE OF VISTA DRIVE AS DESCRIBED IN DEED TO THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECORDED IN BOOK 4469 PAGE 247 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE EASTERLY ALONG SOUTHERLY LINE OF VISTA DRIVE TO THE INTERSECTION THEREOF WITH THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 12; THENCE SOUTHWESTERLY ALONG SAID NORTHEASTERLY PROLONGATION TO THE POINT OF BEGINNING.

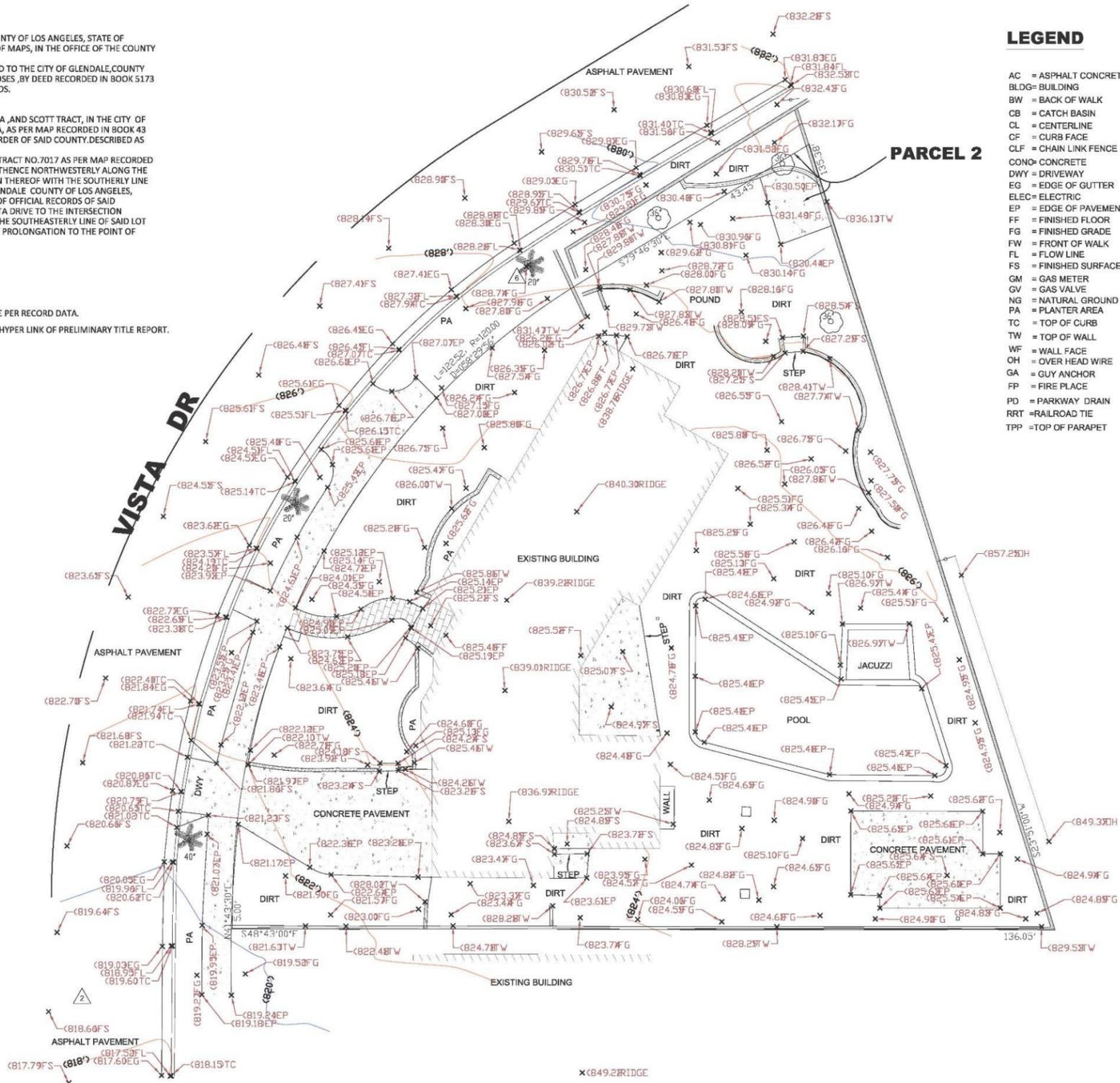
APN NO. 5630-001-016

NOTES:

1. THE LEGAL DESCRIPTION, BOUNDARIES SHOWN HEREON ARE PER RECORD DATA.
2. FOR PLOT THE EASEMENT IF ANY, OWNER NEED TO PROVIDE HYPER LINK OF PRELIMINARY TITLE REPORT.
TOTAL PROPERTY AREA: 11502 SQ.FT.

LEGEND

- AC = ASPHALT CONCRETE
 - BLDG= BUILDING
 - BW = BACK OF WALK
 - CB = CATCH BASIN
 - CL = CENTERLINE
 - CF = CURB FACE
 - CLF = CHAIN LINK FENCE
 - CONC= CONCRETE
 - DWY = DRIVEWAY
 - EG = EDGE OF GUTTER
 - ELEC= ELECTRIC
 - EP = EDGE OF PAVEMENT
 - FF = FINISHED FLOOR
 - FG = FINISHED GRADE
 - FW = FRONT OF WALK
 - FL = FLOW LINE
 - FS = FINISHED SURFACE
 - GM = GAS METER
 - GV = GAS VALVE
 - NG = NATURAL GROUND
 - PA = PLANTER AREA
 - TC = TOP OF CURB
 - TW = TOP OF WALL
 - WF = WALL FACE
 - OH = OVER HEAD WIRE
 - GA = GUY ANCHOR
 - FP = FIRE PLACE
 - PD = PARKWAY DRAIN
 - RRT =RAILROAD TIE
 - TPP =TOP OF PARAPET
- TREE-
SIZE IN INCHES
 - 20'
PALM TREE
SIZE IN INCHES
 - SEWER MAINT HOLE
 - SIGN
 - EM ELECTRIC METER
 - CATCH BASIN
 - ⊗ GAS VALVE
 - GUY WIRE
 - POWER POLE
 - WATER METER
 - GAS METER
 - + SPOT ELEVATION
 - OVER HEAD WIRE
 - WOOD FENCE
 - CHAIN LINK FENCE
 - WROUGHT IRON FENCE
 - RETAINER BRICK WALL
 - BOUNDARY LINE
 - CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - BRICK PAVEMENT



BENCHMARK



GRAPHIC SCALE



SCALE: 1" = 10'

1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



EXISTING
SITE PLAN

SCALE: 1/8"=1'-0"
DATE: 11.18.2021
FILE:
SCRIPT:

A1.01

LEGAL DESCRIPTION

PARCEL 1:
LOT 12 OF TRACT NO. 7017, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 78 PAGE 43 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, FOR STREET PURPOSES, BY DEED RECORDED IN BOOK 5173 PAGE 127 AND IN BOOK 4469 PAGE 247 OF OFFICIAL RECORDS.

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APN NO. 5630-001-016

SCOPE OF WORK

PROPOSED TWO STORY HOUSE WITH ATTACHED TWO CAR GARAGE

BUILDING TYPE

TYPE:	V-B
NUMBER OF STORIES:	2
MAXIMUM HEIGHT:	24'-0"
SPRINKLER:	YES
FORE ZONE:	YES

BUILDING USE

SINGLE FAMILY RESIDENTIAL R3

FAR CALCULATION

PROPERTY	11,502 SF
EX HOUSE TO BE DEMO	2,226 SF
EX GARAGE TO BE DEMO	400 SF
PR 1ST FLOOR	1,694.96 SF
PR 2ND FLOOR	1,292.64 SF
PR GARAGE	448.82 SF
PR COVERED PATIO (SOUTH SIDE)	182.66 SF
PR BALCONY (NORTH SIDE)	153.89 SF
PR BALCONY (SOUTH SIDE)	260.38 SF
PR ENTRY PORCH	38 SF
POOL HOUSE	497 SF

MAXIMUM ALLOWED FAR
(10000 X 0.3) + (1502 X 0.1) = 3150.2 SF

FAR
1694.96 + 1292.64 = 2,987.6 SF
2,987.6 < 3150.2

LOT COVERAGE

1817.33 + 448.82 + 182.66 + 38 + 497 = 2,983.81
2,983.81 / 11502 = 25.9% < 40%

LANDSCAPING

TOTAL LOT AREA: 11,502 SF
LANDSCAPE AREA: 4,695 SF
1,175 SF (EXIST) + 3,520 SF (NEW)
LANDSCAPE RATIO: 40%
4,695 SF (TOTAL LANDSCAPE) / 11,502 SF (LOT)

APPLICABLE CODES

2019 CBC
2019 CMC
2019 CEC
2019 CPC
2020 CGBC

NOTES:

- NEW ROOFTOP EQUIPMENT IS PROHIBITED IN THIS ZONE.
- RETAINING WALLS, POOLS, SPAS, JACUZZIS, FENCES AND PATIO REQUIRE SEPARATE PERMITS.
- THERE ARE NO OAK, BAY OR SYCAMORE TREES ON THIS LOT OR WITHIN 20' OF THE PROPERTY.

LEGEND

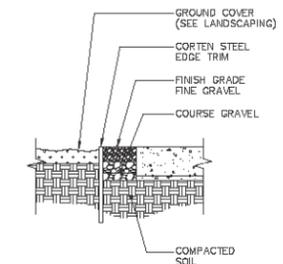
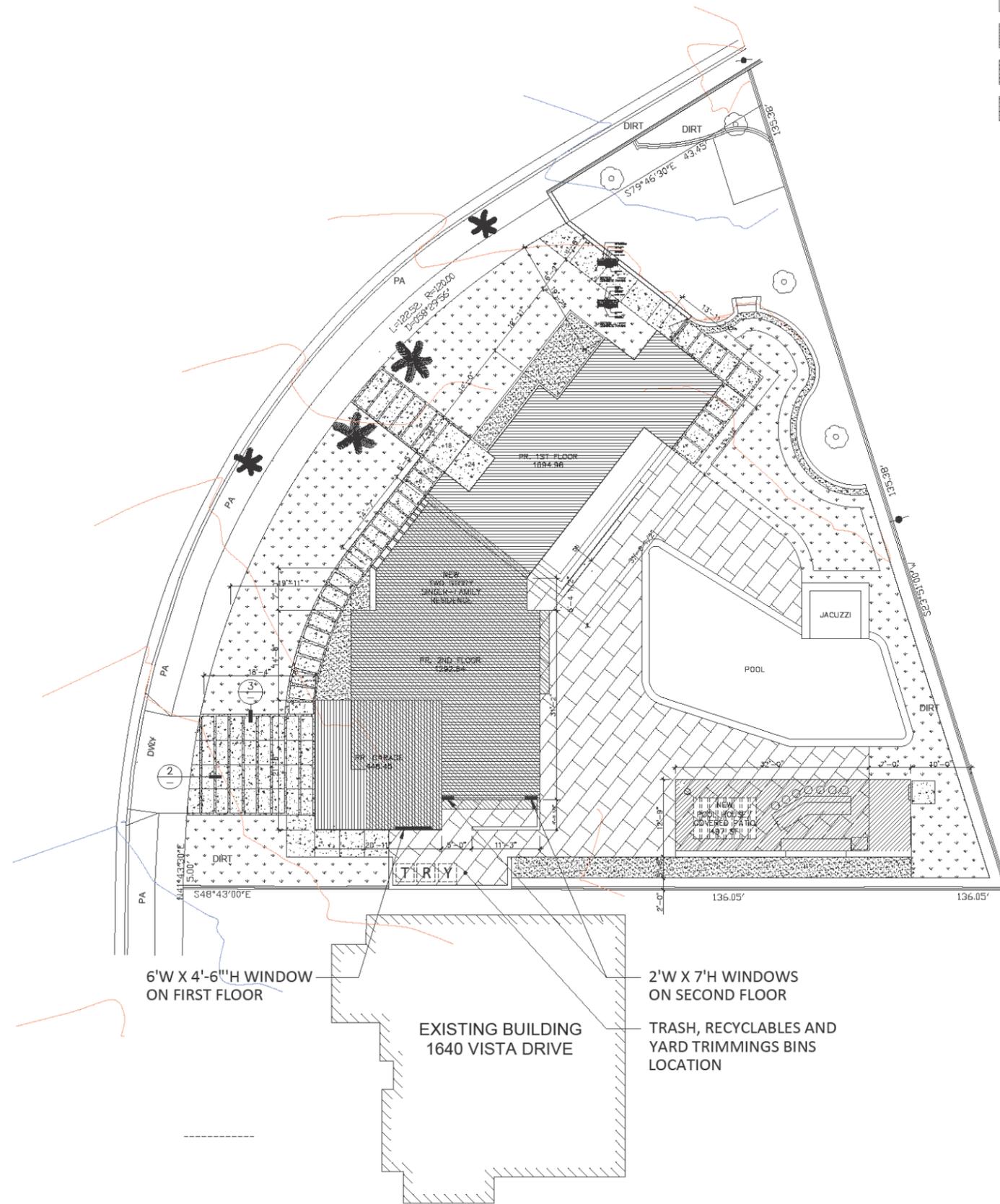
	PR GARAGE	448.82 SF
	PR FIRST FLOOR	1,694.96 SF
	PR SECOND FLOOR	1,292.64 SF
	PR POOL HOUSE	497 SF

ALEK ZARIFIAN ARCHITECT

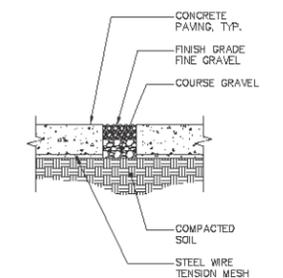
3120 Peters Circle
Glendale, California 91208
T 818.601.9056



CONSULTANTS:



2 SECTION 1 1/2"=1'-0"



3 SECTION 1 1/2"=1'-0"

1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



SITE PLAN

SCALE: 1/8"=1'-0"
DATE: 04.25.2022
FILE:
SCRIPT:

A1.11

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If drawing is not 24"x36", it is a reduced print.

1 SITE PLAN

0 2' 4' 8'

SHRUBS/SUCCULENTS



AEONIUM SPP. (RELOCATED)



AGAPANTHUS 'STORM CLOUD' / LILY OF THE NILE



ASPARAGUS DENSIFLORUS 'MYERSII' / MYERS ASPARAGUS



CAMPANULA POSCHARSKYANA / SERBIAN BELLFLOWER



CISTUS X HYBRIDUS / WHITE ROCKROSE



CISTUS X SKANBERGII / PINK ROCKROSE



CRASSULA SPP. 'GOLLUM' / GOLLUM JADE PLANT (RELOCATED)



EUPHORBIA TIRUCALLI 'STICKS ON FIRE' / STICKS ON FIRE (RELOCATED)

GROUNDCOVERS



CAREX DIVULSA / BERKELEY SEDGE



DYMONDIA MARGARETAE / DYMONDIA



GRAVEL - LA PAZ PEBBLES, 1/2"-1"



SMALL BOULDERS, COBBLE ROCK RELOCATED

TREES



CITRUS SPP. KUMQUAT / KUMQUAT TREE (RELOCATED)



DRACAENA MARGINATA / MADAGASCAR DRAGON TREE



SYAGRUS ROMANZOFFIANA / QUEEN PALM

PLANTING LEGEND

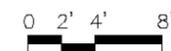
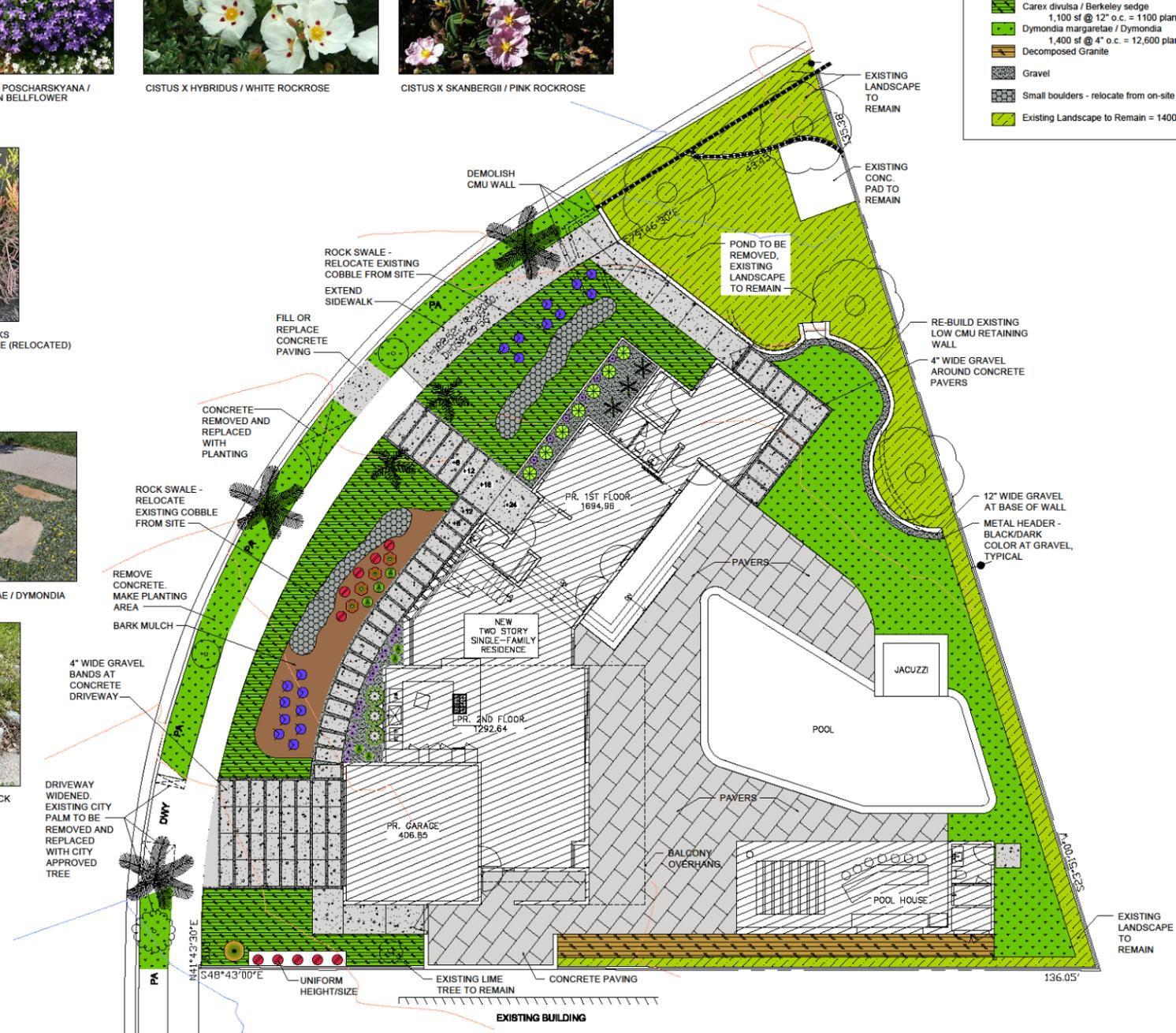
Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks
TREES					
	Citrus spp. Kumquat / Kumquat tree	1	n/a	M	relocated
	Dracaena marginata / Madagascar Dragon tree	3	15 gal	-	
	Syagrus romanzoffiana / Queen palm	2	TBD	M	
	10' min. clear trunk Street Tree per City of Glendale Ginkgo biloba / Ginkgo	1	24" Box	M	
SHRUBS					
	Aeonium spp., @ per plan	8*	n/a	L	relocated, *TBD per availability
	Agapanthus 'Storm Cloud' / Lily of the Nile @ per plan	18	1g	M	alt. Midnight Blue
	Asparagus densiflorus 'Myersii' / Myers asparagus @ 48" o.c.	7	5g	M	
	Campanula poscharskyana / Serbian bellflower, @ per plan	22	1g	M	
	Crassula spp. 'Gollum' / Gollum jade plant @ per plan	4	n/a	L	relocated
	Cistus x hybridus / White Rockrose @ 36" o.c.	4	5g	L	alt. Cistus x skanbergii / Pink Rockrose
	Euphorbia tirucalli 'Sticks on Fire' / Sticks on Fire, @ per plan	10	n/a	L	relocated, 24" high
GROUND COVER					
	Carex divulsa / Berkeley sedge	23	flat	L	1,100 sf @ 12" o.c. = 1100 plants
	Dymondia margaretae / Dymondia	260	flat	L	1,400 sf @ 4" o.c. = 12,600 plants
	Decomposed Granite	230	sf		
	Gravel	310	sf	TBD	
	Small boulders - relocate from on-site	180	sf		
	Existing Landscape to Remain = 1400 sf				

ALEK ZARIFIAN ARCHITECT

3120 Peters Circle
Glendale, California 91208
T 818.601.9056



CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



LANDSCAPE PLAN

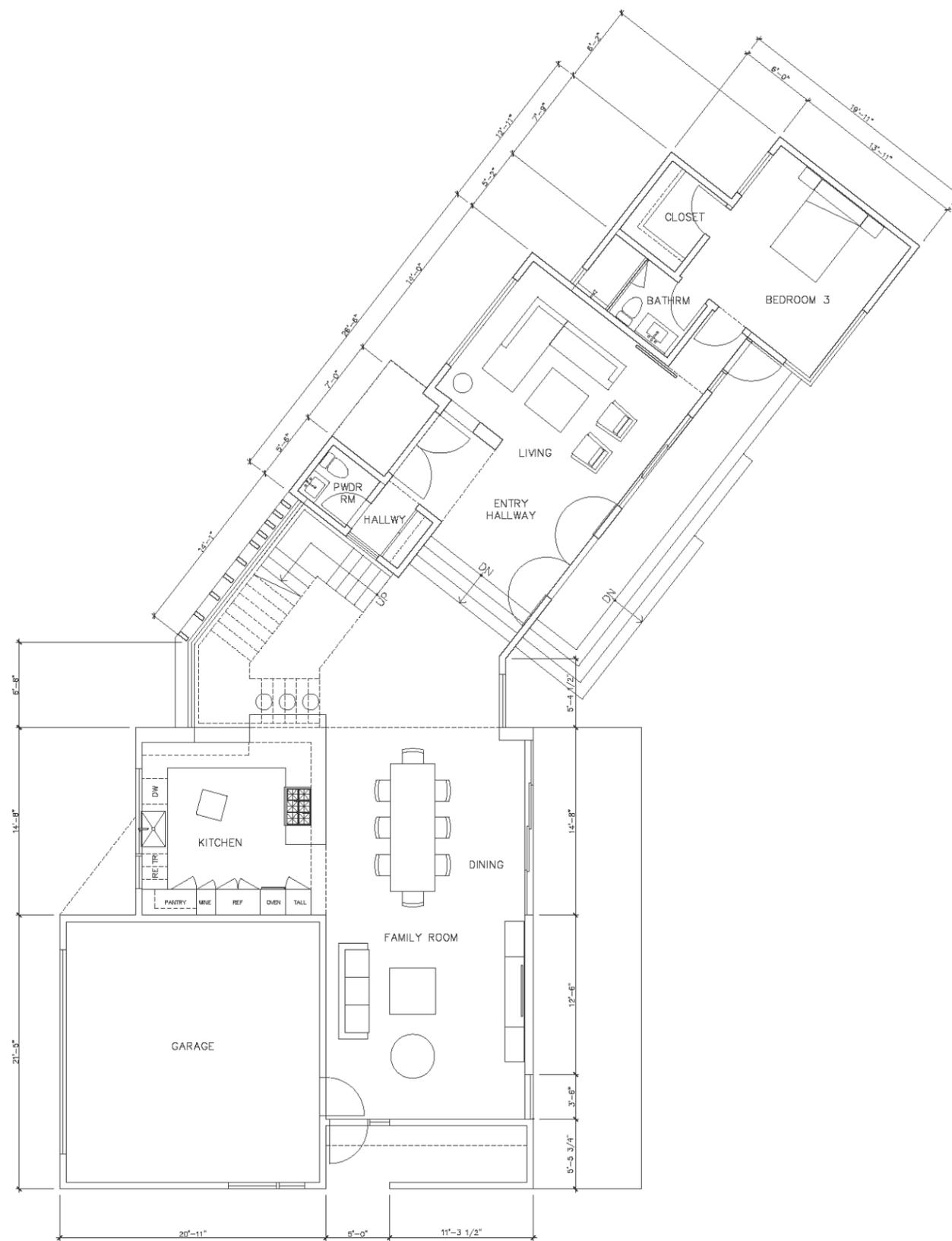
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CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"
DATE: 04.25.2022
FILE:
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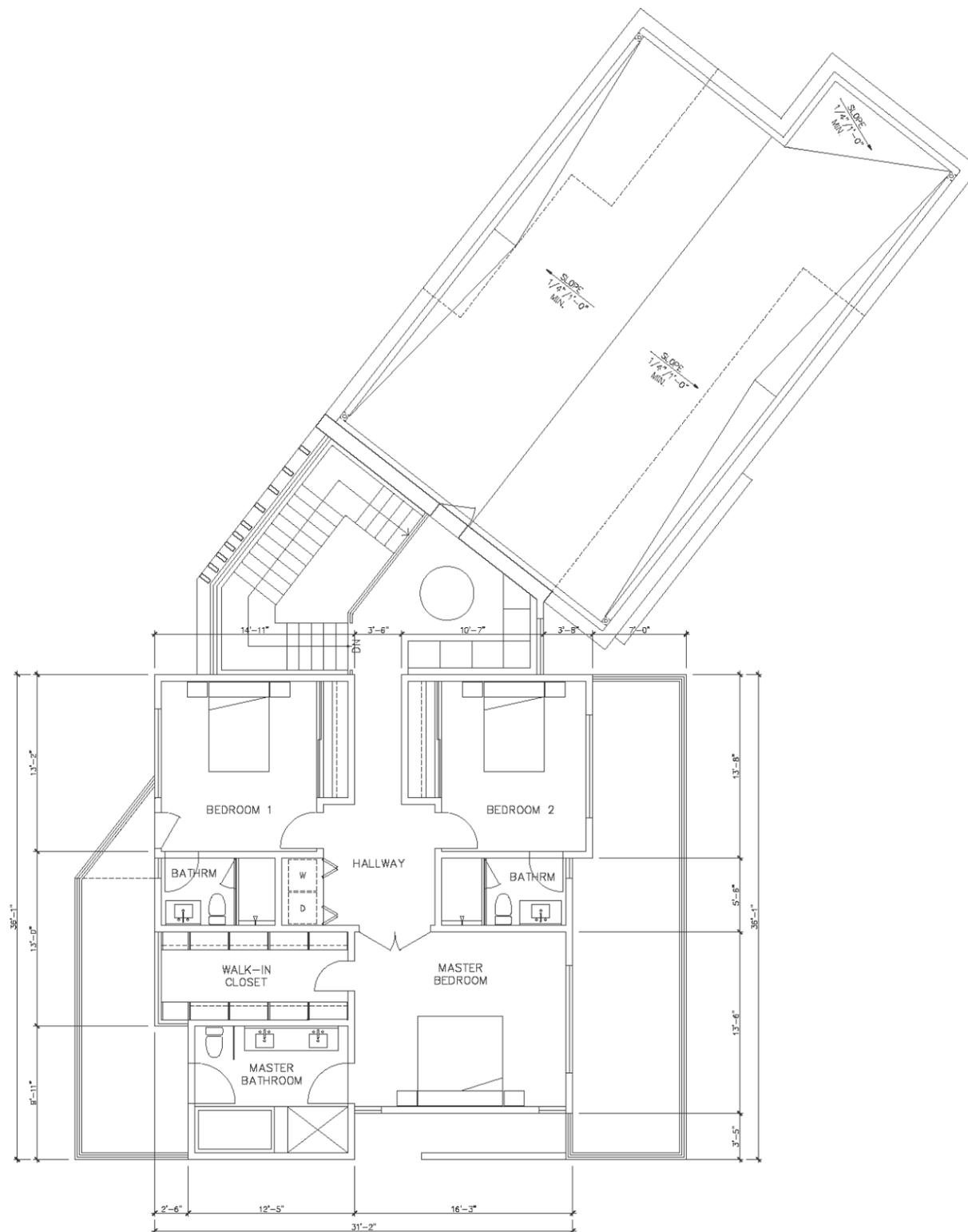
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CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
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FILE:
SCRIPT:

A2.12

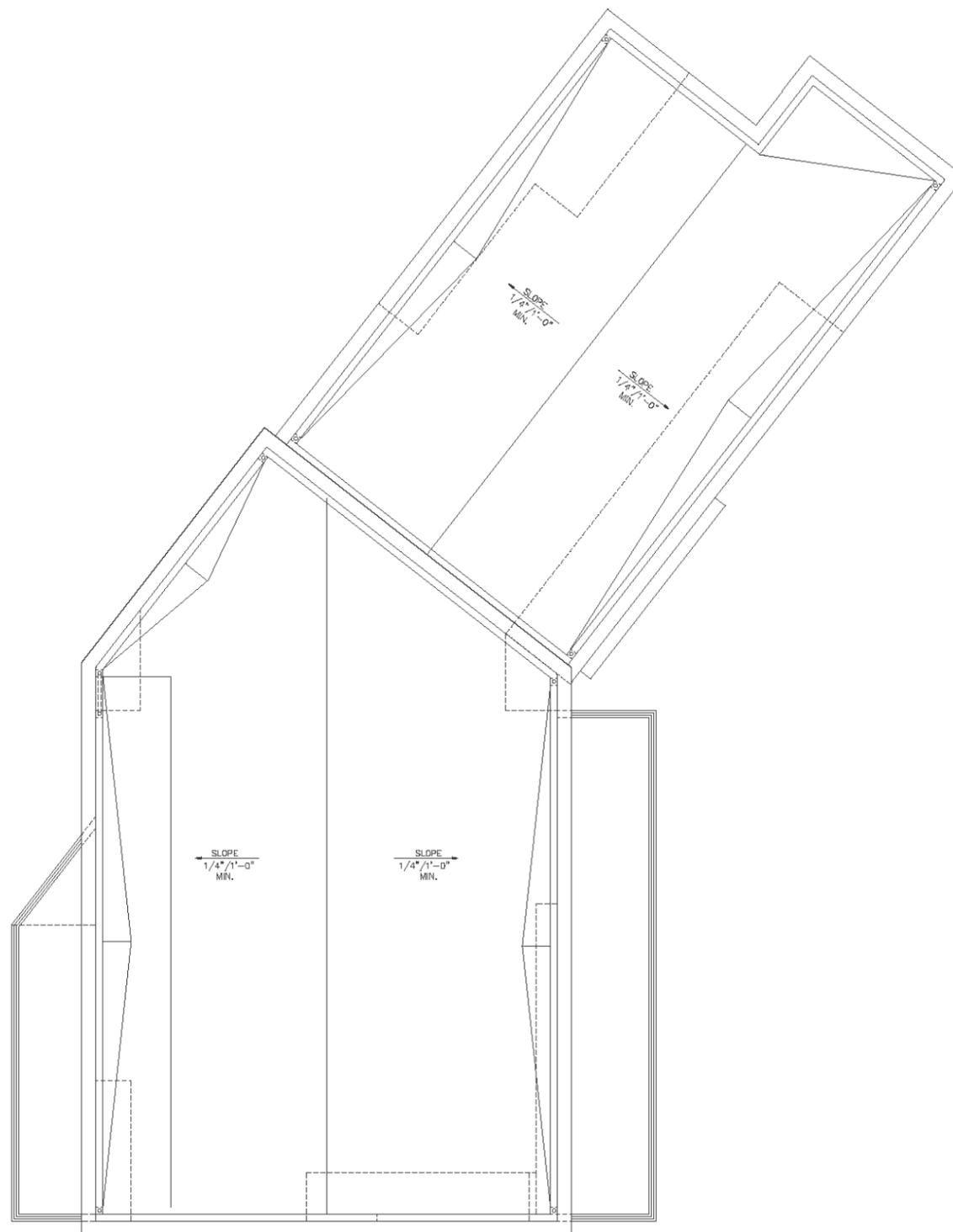
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1 SECOND FLOOR PLAN





CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



ROOF PLAN

SCALE: 1/4"=1'-0"
DATE: 04.25.2022
FILE:
SCRIPT:

A2.13

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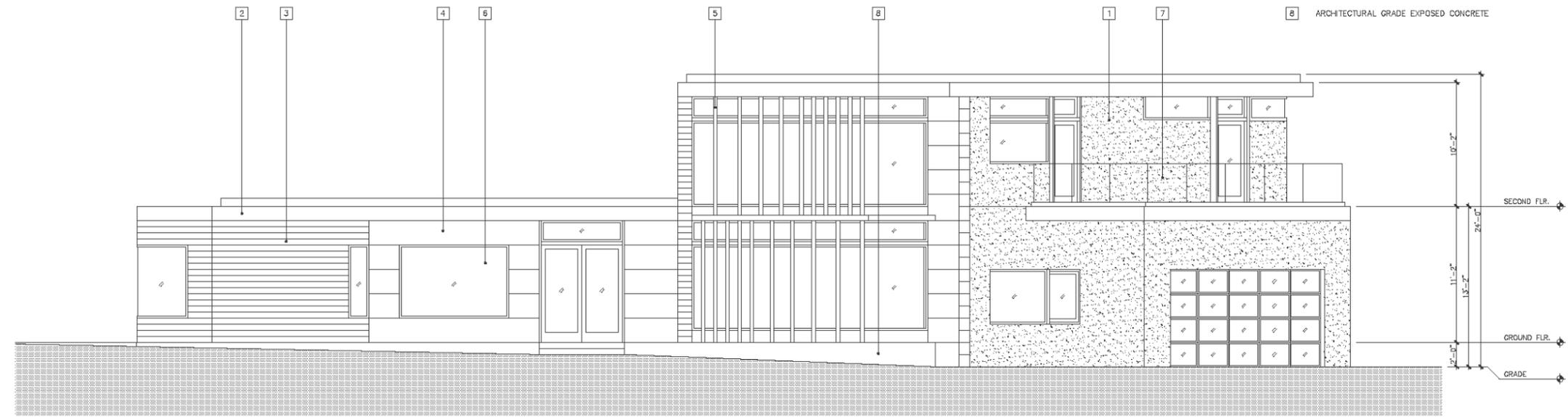




CONSULTANTS:

EXTERIOR FINISH LEGEND

- 1 7/8" STUCCO-SMOOTH FINISH-COLOR: CRYSTAL WHITE
- 2 16 GAGE BENT METAL PANEL-COLOR: DARK BRONZE
- 3 6" WIDE WOOD SIDING
- 4 24" WIDE CERAMIC TILE
- 5 WOOD CLADDED FIN
- 6 1" LOW-E INSULATING GLASS IN WOOD FRAME
- 7 3/4" GLASS RAILING
- 8 ARCHITECTURAL GRADE EXPOSED CONCRETE



1 EXTERIOR ELEVATION - NORTH



2 EXTERIOR ELEVATION - EAST

1650 VISTA DRIVE
1650 VISTA DRIVE
GLENDALE, CA 91201
KEY PLAN



EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"
DATE: 04.25.2022
FILE:
SCRIPT:

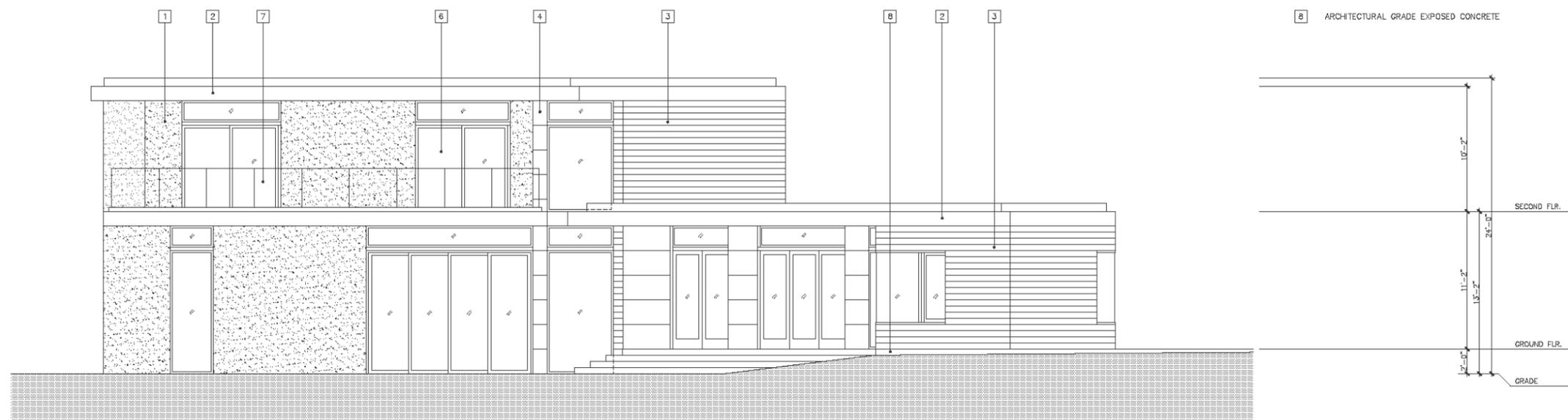
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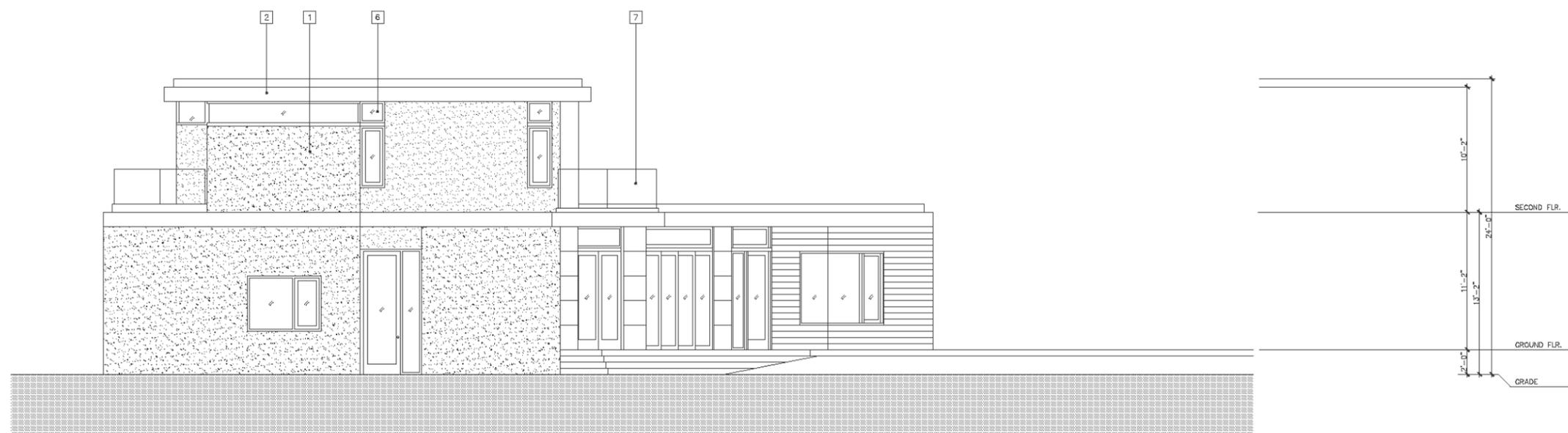
CONSULTANTS:

EXTERIOR FINISH LEGEND

- 1 7/8" STUCCO-SMOOTH FINISH-COLOR: CRYSTAL WHITE
- 2 METAL PANEL-COLOR: DARK BRONZE
- 3 6" WIDE WOOD SIDING-SPECIES: TEAK
- 4 24" WIDE CERAMIC TILE-TYPE: BLACK MARBLE
- 5 WOOD CLADDED FIN
- 6 1" LOW-E INSULATING GLASS IN WOOD FRAME
- 7 3/4" GLASS RAILING
- 8 ARCHITECTURAL GRADE EXPOSED CONCRETE



1 EXTERIOR ELEVATION - SOUTH



2 EXTERIOR ELEVATION - WEST

1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"
DATE: 04.25.2022
FILE:
SCRIPT:

A3.12





NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



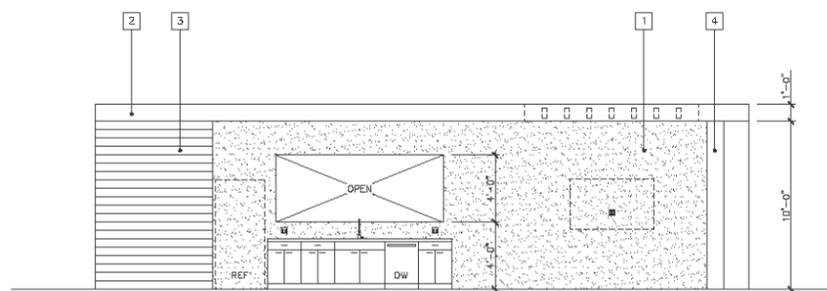
WEST ELEVATION



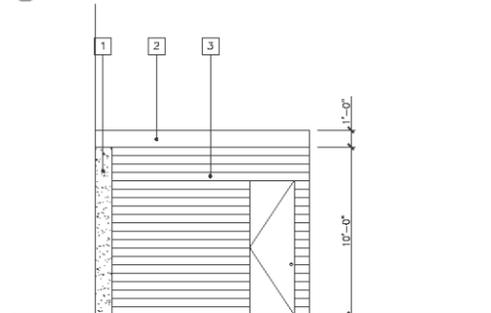
CONSULTANTS:

EXTERIOR FINISH LEGEND

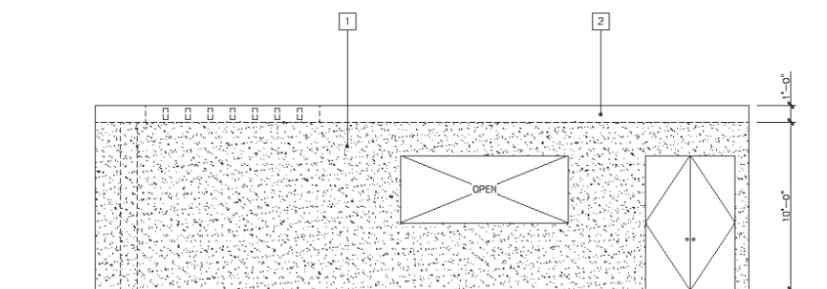
- 1 7/8" STUCCO-SMOOTH FINISH-COLOR: CRYSTAL WHITE
- 2 16 GAGE BENT METAL PANEL-COLOR: DARK BRONZE
- 3 6" WIDE WOOD SIDING
- 4 GLASS FIBER REINFORCED CONCRETE COLUMN COVER



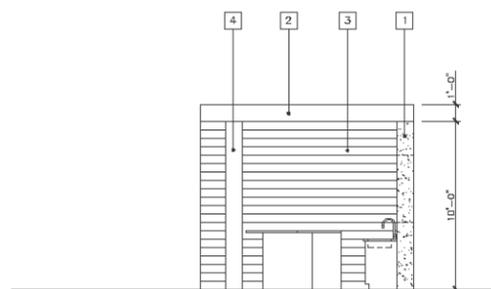
(A) NORTH



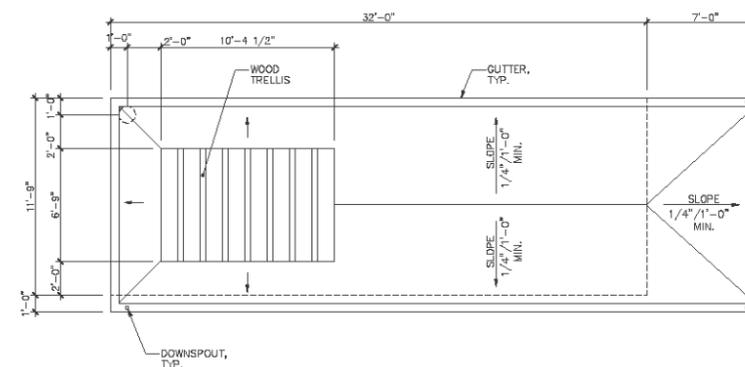
(B) EAST



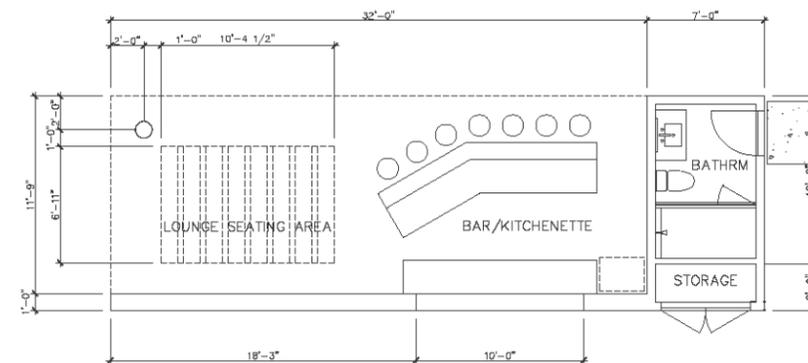
(C) WEST



(D) SOUTH



2 ROOF PLAN



1 FLOOR PLAN



1650 VISTA DRIVE
POOL HOUSE
1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



PLANS AND
ELEVATIONS

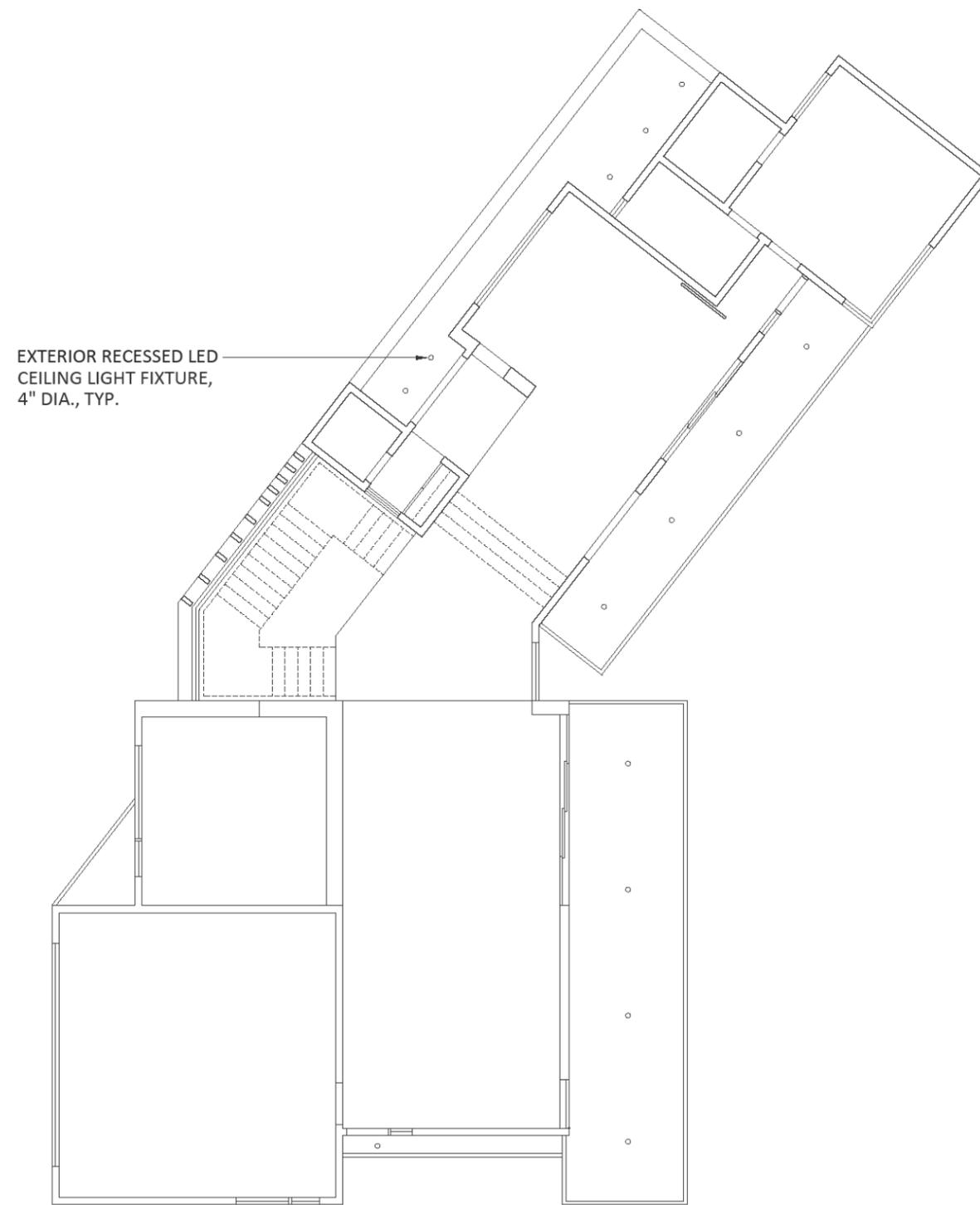
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DATE: 04.25.2022
FILE:
SCRIPT:

A2.14

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CONSULTANTS:



1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



GROUND FLOOR
EXTERIOR LIGHTING
PLAN

SCALE: 1/4"=1'-0"
DATE: 04.25.2022
FILE:
SCRIPT:

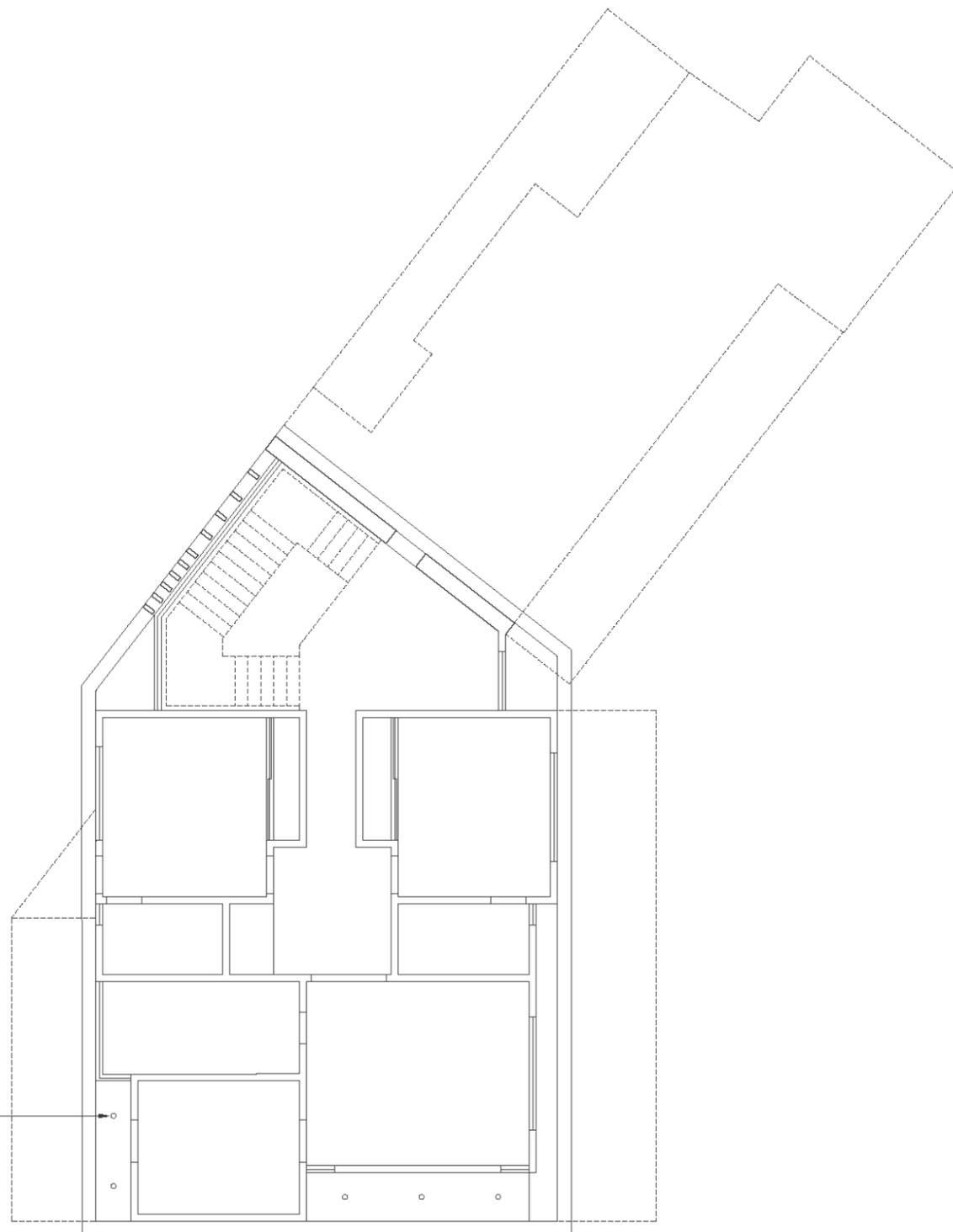
A2.11

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If drawing is not 24"x36", it is a reduced print.





CONSULTANTS:



EXTERIOR RECESSED LED
CEILING LIGHT FIXTURE,
4" DIA., TYP.

1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
DATE: 04.25.2022
FILE:
SCRIPT:

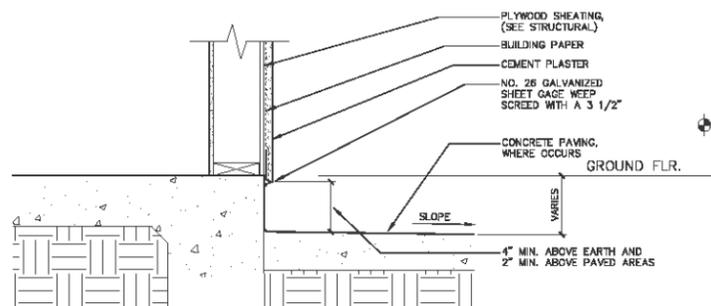
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If drawing is not 24"x36", it is a reduced print.

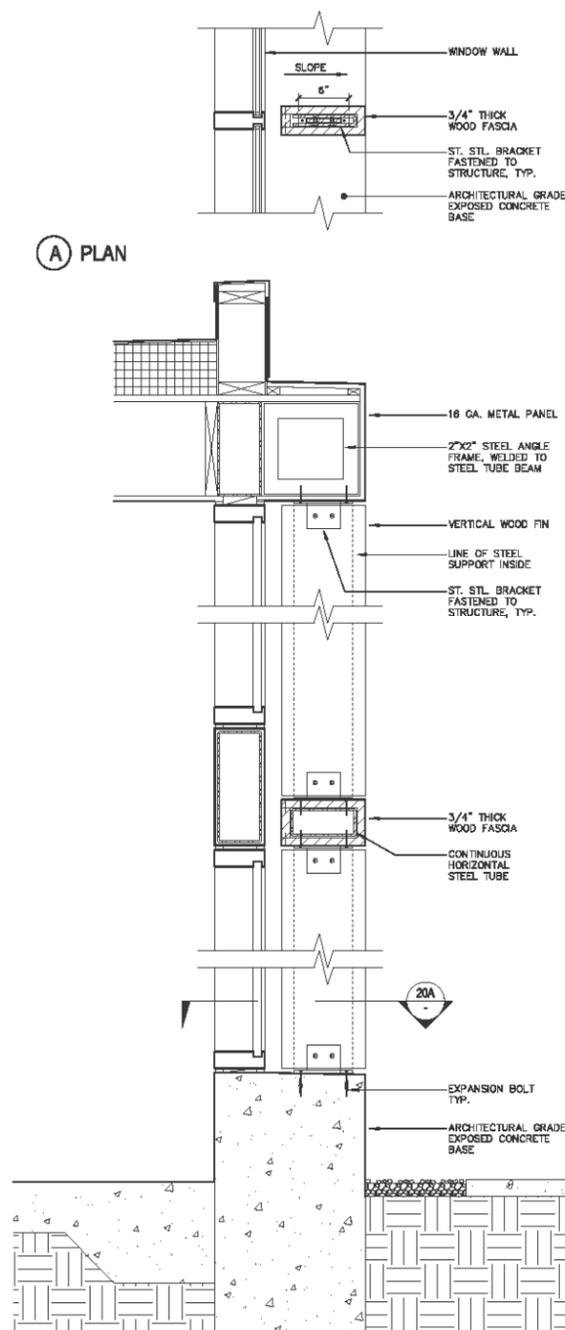




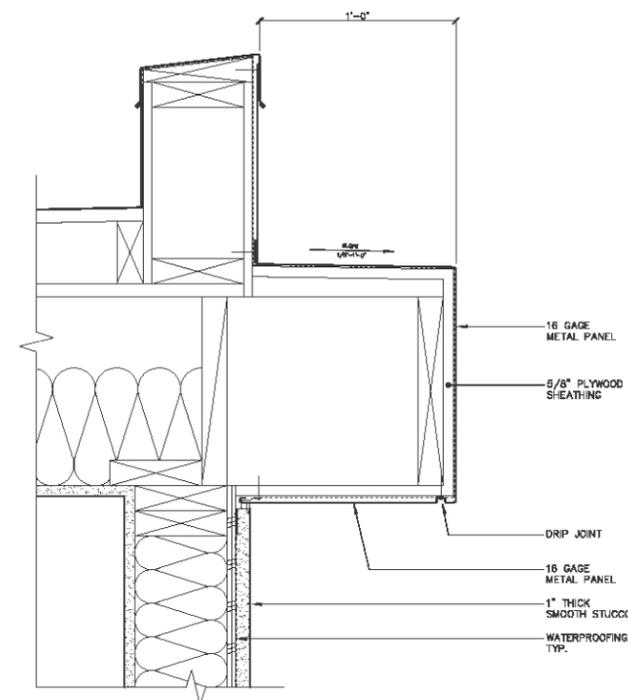
CONSULTANTS:



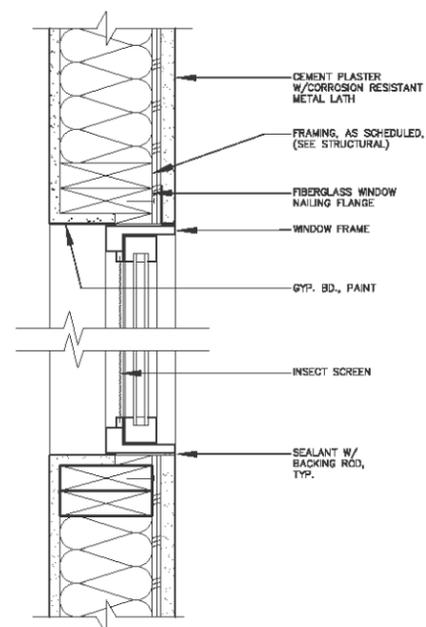
5 SECTION - WALL BASE
1 1/2"=1'-0"



20 WINDOW WALL WITH WOOD BRI SOLEIL
1 1/2"=1'-0"



28 SECTION - ROOF EDGE
3/4"=1'-0"



30 SECTION - WINDOW HEAD AND SILL
3/4"=1'-0"

1650 VISTA DRIVE

1650 VISTA DRIVE
GLENDALE, CA 91201

KEY PLAN

EXTERIOR DETAILS

SCALE: 1/4"=1'-0"
DATE: 02.02.2022
FILE:
SCRIPT:

A5.01